

WALNUT MIXED USE

VACANT LAND AT SOUTHEAST CORNER OF LA PUENTE ROAD AND GRAND AVE
WALNUT, CA 91789

CD/A

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NORTHWEST AERIAL VIEW AT GRAND & LA PUENTE RD

SCALE: NTS

LANDSCAPE/Common Area in 3D view is for reference only. See landscape drawing for landscape/common area design.

PROJECT DIRECTORY

OWNER

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LANDSCAPE

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9422 EAST LAS TUNAS DRIVE,
TEMPLE CITY 91780
PHONE: 626-888-9915
CONTACT: LIU LIU
EMAIL: crystal@liulandscape.com

SCOPE OF WORK

NEW GRADING ON ENTIRE SITE. NEW CONSTRUCTION OF 9 RESIDENTIAL BUILDINGS (42 DWELLING UNITS) AND 4 1-STORY RETAIL/RESTAURANT BUILDINGS

LEGAL DESCRIPTION

LOT 72 OF TRACT NO. 53170, IN THE CITY OF WALNUT, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1266 PAGES 1-10 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

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A-R114 ENLARGED UNIT 4 FLOOR PLANS

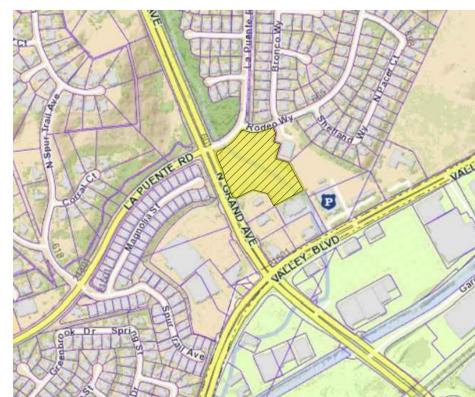
RESIDENTIAL BUILDING BREAKDOWN

UNIT TYPE	UNIT COUNT	BEDROOM	MS #	LIVING AREA	1ST FL	2ND FL	3RD FL	GARAGE	BALCONY	PORCH	COVERA GE	
TH 1	14	3		1,534 S.F.	541 S.F.	994 S.F.		430 S.F.		17 S.F.	970 S.F.	
TH 2	10	3		1,487 S.F.	532 S.F.	956 S.F.		430 S.F.			961 S.F.	
TH 3	11	4		1,892 S.F.	358 S.F.	779 S.F.		430 S.F.	71 S.F.		788 S.F.	
TH 4	7	3		1,989 S.F.	455 S.F.	779 S.F.		430 S.F.	71 S.F.		884 S.F.	
				42								

BLDG TYPE	BLDG COUNT	# OF UNITS	LIVING AREA	TH 1	TH 2	TH 3	TH 4
R1	2	4	6,138 S.F.	4			
R2	1	6	9,207 S.F.	6			
R3	4	4	6,759 S.F.		2	2	
R4	1	5	8,651 S.F.		2	3	
R5	1	7	13,921 S.F.				7
				9			

LOT WIDTH

LOT #	SQUARE FOOTAGE	WIDTH	DEPTH	LOT #	SQUARE FOOTAGE	WIDTH	DEPTH
1	COMMERCIAL			23	1,134 S.F.	25'-0"	51'-6"
2	1,227 S.F.	21'-0"	59'-6"	24	1,051 S.F.	21'-0"	50'-6"
3	1,243 S.F.	21'-0"	59'-6"	25	1,051 S.F.	21'-0"	50'-6"
4	1,243 S.F.	21'-0"	59'-6"	26	1,134 S.F.	25'-0"	51'-6"
5	1,241 S.F.	21'-0"	59'-6"	27	1,134 S.F.	21'-0"	50'-6"
6	1,243 S.F.	21'-0"	59'-6"	28	1,051 S.F.	21'-0"	50'-6"
7	1,243 S.F.	21'-0"	59'-6"	29	1,051 S.F.	21'-0"	50'-6"
8	1,250 S.F.	21'-0"	59'-6"	30	1,134 S.F.	25'-0"	51'-6"
9	1,250 S.F.	21'-0"	59'-6"	31	1,134 S.F.	25'-0"	51'-6"
10	1,250 S.F.	21'-0"	59'-6"	32	1,051 S.F.	21'-0"	50'-6"
11	1,250 S.F.	21'-0"	59'-6"	33	1,051 S.F.	21'-0"	50'-6"
12	1,250 S.F.	21'-0"	59'-6"	34	1,051 S.F.	21'-0"	50'-6"
13	1,250 S.F.	21'-0"	59'-6"	35	1,134 S.F.	25'-0"	51'-6"
14	1,250 S.F.	21'-0"	59'-6"	36	1,134 S.F.	25'-0"	51'-6"
15	1,250 S.F.	21'-0"	59'-6"	37	1,051 S.F.	21'-0"	50'-6"
16	947 S.F.	21'-0"	46'-0"	38	1,051 S.F.	21'-0"	50'-6"
17	947 S.F.	21'-0"	46'-0"	39	1,134 S.F.	25'-0"	51'-6"
18	947 S.F.	21'-0"	46'-0"	40	1,134 S.F.	25'-0"	51'-6"
19	947 S.F.	21'-0"	46'-0"	41	1,051 S.F.	21'-0"	50'-6"
20	947 S.F.	21'-0"	46'-0"	42	1,051 S.F.	21'-0"	50'-6"
21	947 S.F.	21'-0"	46'-0"	43	1,134 S.F.	25'-0"	51'-6"
22	947 S.F.	21'-0"	46'-0"	44	COMMON RESIDENTIAL		



VICINITY MAP

SCALE: NTS



PROJECT DATA

ADDRESS	Vacant lot on Southeast corner of La Puente Rd and Grand Ave WALNUT, CA 91789	
APN NUMBER	8709-057-028	
ZONING	C-3-SP (HEAVY COMMERCIAL ZONE AND SPECIFIC PLAN) 9 RESIDENTIAL BUILDINGS (42 TOWNHOME UNITS), 4 1-STORY COMMERCIAL BUILDINGS (RETAIL AND/OR RESTAURANT)	
PROPOSED USE	TOWNHOMES = R-3/U RESTAURANT = A-2 RETAIL = M OFFICE = B	
OCCUPANCY GROUP		
TOTAL GROSS LOT AREA	220,480 S.F.	(APPROX. 5.06 ACRE)
TOTAL NET AREA (EASEMENTS)	179,203 S.F.	(APPROX. 4.11 ACRE)
F.A.R.	PROVIDED	0.41

BUILDING COVERAGE AREA	MAX. ALLOWED	PROVIDED
MAX. ALLOWED	110,240 S.F.	(50.00%)
PROVIDED	57,293 S.F.	(31.97%)
TOTAL BUILDING AREA	TOTAL BLDG	
PROVIDED:	90,331 S.F.	
RESIDENTIAL	71,092 S.F.	
COMMERCIAL	19,239 S.F.	
BLDG C1	3,815 S.F.	
BLDG C2	3,405 S.F.	
BLDG C3	10,383 S.F.	
BLDG C4	1,636 S.F.	

DWELLING UNITS	UNIT COUNT	LIVABLE AREA	COVERAGE
TOTAL TOWNHOME UNITS	42 UNITS		
TH 1 (2-STORY)	14 UNITS	1,534 S.F.	970 S.F.
TH 2 (2-STORY END UNIT)	10 UNITS	1,487 S.F.	961 S.F.
TH 3 (3-STORY)	11 UNITS	1,892 S.F.	788 S.F.
TH 4 (3-STORY LIVE-WORK)	7 UNITS	1,989 S.F.	884 S.F.

BUILDING HEIGHT	MAX. ALLOWED	PROVIDED:
MAX. ALLOWED	35'-0"	2 STORY
PROVIDED:		
TOWNHOME	35'-0"	2 - 3 STORY
COMMERCIAL BLDG C1	24'-0"	1 STORY
COMMERCIAL BLDG C2	24'-0"	1 STORY
COMMERCIAL BLDG C3	27'-0"	1 STORY
COMMERCIAL BLDG C4	24'-0"	1 STORY

SET BACK	MIN. REQ'D (PER SCVSE)	PROVIDED
FRONT YARD (GRAND AVE)	7'-0"	7'-6"
SIDE YARD (LA PUENTE AVE)	15'-0"	15'-4"
SIDE YARD (RODEO AVE)	15'-0"	25'-1"
SIDE YARD (SHARED DRIVEWAY)	5'-0"	31'-1"
SIDE YARD (SOUTH PL)	5'-0"	12'-3"
SIDE YARD (EAST)	5'-0"	12'-1"
REAR YARD (SOUTHEAST)	20'-0"	50'-9"

PARKING	MIN. REQUIRED	PROVIDED
RESIDENTIAL	2 PER UNIT (GARAGE) 0.5 PER UNIT (GUEST)	205 STALLS 105 STALLS 84 STALLS 21 STALLS
COMMERCIAL		100 STALLS 19 STALLS 17 STALLS 52 STALLS 8 STALLS
BICYCLE		4 BICYCLES
PROVIDED	(EXCLUDE DESIGNATED PARKING)	(214 STALLS) 232 STALLS
RESIDENTIAL	(107 STALLS)	109 STALLS
GARAGE		84 STALLS
GUESTS		25 STALLS
COMMERCIAL	(107 STALLS)	123 STALLS
OTHER REQ'D PARKING (INCLUDED IN TOTAL PARKING PROVIDED)		(18 STALLS)
ADA		(7 STALLS)
COMMERCIAL	PER CBC 118-208.1, EXCLUDE EVCS	(5 STALLS)
RESIDENTIAL	PER CBC 1109A.5% OF GUEST	(2 STALLS)
ADA VAN (INCLUDED IN TOTAL ADA STALLS)		(2 STALLS)
COMMERCIAL	1 IN EVERY 6	(1 STALLS)
RESIDENTIAL	1 IN EVERY 8	(1 STALLS)
CLEAN AIR/VANPOOL	CGSBC TABLE 5.106.5.2	(11 STALLS)
EVCS (QUALIFY AS DESIGNATED PARKING FOR CLEAN AIR)	CGSBC TABLE 5.106.5.3.3	(7 STALLS)
COMMERCIAL		

Project:
WALNUT MIXED USE

VACANT LAND AT SOUTHEAST CORNER OF LA PUENTE ROAD AND GRAND AVE
APN: 8709-057-028
WALNUT, CA 91789

Client:
AVATAR TECHNOLOGY, INC

339 S CHERY LANE
WALNUT, CA 91789

Stamp:



Drawing Title:

COVER SHEET & PROJECT DATA

CDA Project No. 1906
Date: MAY, 2021
Plot Date: Mar 27, 2023
Phase: 4TH PLANNING
Checked By: EC
Drawn By: CDA
Project No.:
Reference:
Revisions:

Drawing No.:

G-001

Project:
WALNUT MIXED USE

VACANT LAND AT SOUTHEAST CORNER OF
 LA PUENTE ROAD AND GRAND AVE
 APN: 8709-057-028

WALNUT, CA 91789

Client:
AVATAR TECHNOLOGY, INC

339 S CHERY LANE
 WALNUT, CA 91789



4 **SOUTHEAST AERIAL (RESIDENTIAL)**
 VIEW



3 **NORTHWEST AERIAL (RESIDENTIAL)**
 VIEW



KEY MAP
 SCALE: 1:100



2 **SOUTHEAST AERIAL (COMMERCIAL)**
 VIEW



1 **NORTHWEST AERIAL (COMMERCIAL)**
 VIEW

Stamp:



Drawing Title:
AERIAL VIEWS

CDA Project No. 1906
 Date: MAY, 2021
 Phase: 4TH PLANNING
 Checked By: EC
 Drawn By: CDA
 Project No.:
 Reference:
 Revisions:

Drawing No.:

G-101

LANDSCAPE/Common AREA IN 3D VIEW IS FOR REFERENCE ONLY.
 SEE LANDSCAPE DRAWING FOR LANDSCAPE/Common AREA DESIGN.

Project:
WALNUT MIXED USE

VACANT LAND AT SOUTHEAST CORNER OF
 LA PUENTE ROAD AND GRAND AVE
 APN: 8709-057-028
 WALNUT, CA 91789

Client:
AVATAR TECHNOLOGY, INC

339 S CHERY LANE
 WALNUT, CA 91789

Stamp:



Drawing Title:
COMMERCIAL 3D VIEWS

CDA Project No. 1906
 Date: MAY, 2021
 Phase: 4TH PLANNING
 Checked By: EC
 Drawn By: CDA
 Project No.:
 Reference:
 Revisions:

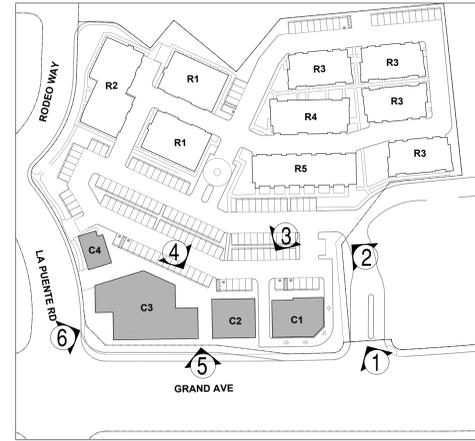
Drawing No.:



6 GRAND AVE AND LA PUENTE RD STREET CORNER
 VIEW



5 COMMERCIAL BLDGS C2 - C3 FROM GRAND AVE
 VIEW



KEY MAP
 SCALE: 1:100



4 COMMERCIAL BLDGS C2 - C3 FROM PARKING
 VIEW



3 COMMERCIAL BUILDINGS C1 - C4 FROM PARKING
 VIEW



2 VEHICULAR SITE ENTRY
 VIEW



1 GRAND AVE VEHICULAR ENTRY
 VIEW

LANDSCAPE/Common Area in 3D view is for reference only.
 See Landscape Drawing for Landscape/Common Area Design.

Project:
WALNUT MIXED USE

VACANT LAND AT SOUTHEAST CORNER OF
 LA PUENTE ROAD AND GRAND AVE
 APN: 8709-057-028

WALNUT, CA 91789

Client:
AVATAR TECHNOLOGY, INC

339 S CHERRY LANE
 WALNUT, CA 91789

Stamp:



Drawing Title:
RESIDENTIAL 3D VIEWS

CDA Project No. 1906
 Date: MAY, 2021
 Phase: 4TH PLANNING
 Checked By: EC
 Drawn By: CDA
 Project No.:
 Reference:
 Revisions:

Drawing No.:

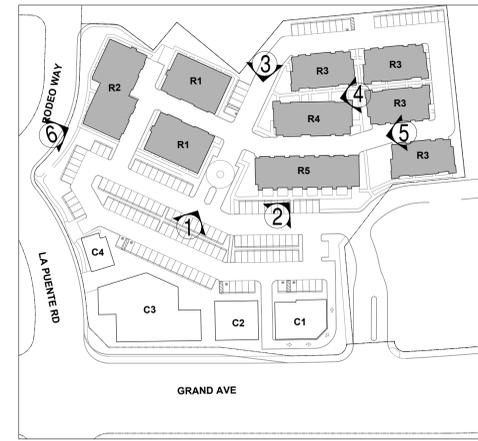
G-103



6 VIEW FROM RODEO WAY
 VIEW



5 GARAGE ACCESS EAST
 VIEW



KEY MAP
 SCALE: 1:100



4 BUILDING 3 AND BUILDING 4 ENTRY COURT
 VIEW



3 RESIDENTIAL ENTRY NORTH
 VIEW



2 LIVE WORK UNITS BUILDING 5
 VIEW



1 RESIDENTIAL ENTRY
 VIEW

LANDSCAPE/Common Area in 3D view is for reference only.
 See Landscape Drawing for Landscape/Common Area Design.

TOPOGRAPHIC MAP

EASEMENT NOTES

SHOWN ON TRACT NO. 53170, M.B. 1266-1-10

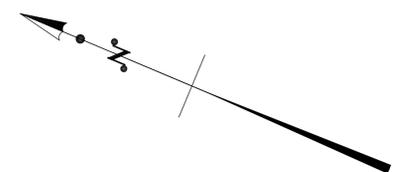
- (D) METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA, HOLDER OF AN EASEMENT FOR WATER PIPELINE PURPOSES AND PURPOSES INCIDENTAL THERETO AS PROVIDED IN A DOCUMENT RECORDED AUGUST 30, 1940, IN BOOK 17793, PAGE 136 OF OFFICIAL RECORDS.
- (F) ROWLAND AREA COUNTY WATER DISTRICT, HOLDER OF AN EASEMENT AS PROVIDED IN A DOCUMENT FOR PIPELINE PURPOSES RECORDED IN BOOK 55410, PAGE 240 OF OFFICIAL RECORDS.
- (C) THE CITY OF WALNUT, HOLDER ON EASEMENT FOR STORM DRAIN AND SEWER PURPOSES AS SHOWN ON THE MAP TRACT NO. 41681, FILED IN BOOK 1029, PAGES 34 THROUGH 39, INCLUSIVE, OF MAPS, IN THE OFFICE OF COUNTY RECORDER OF LOS ANGELES COUNTY.
- (I) SOUTHERN CALIFORNIA EDISON COMPANY, HOLDER OF AN EASEMENT FOR PURPOSES AND RIGHTS INCIDENTAL THERETO AS PROVIDED IN A DOCUMENT FOR PUBLIC UTILITIES RECORDED OCTOBER 8, 1987, AS INSTRUMENT NO. 87-1622138 OF OFFICIAL RECORDS.
- (J) PUBLIC UTILITIES EASEMENT DEDICATED TO THE CITY OF WALNUT
- (S) VERIZON CALIFORNIA, A CORPORATION SUCCESSOR TO GENERAL TELEPHONE COMPANY OF CALIFORNIA, A CORPORATION, HOLDER ON INTEREST IN AN EASEMENT FOR PUBLIC UTILITIES, RECORDED JUNE 10, 1987 AS INSTRUMENT NO. 87-920938, NOVEMBER 5, 1987 AN INSTRUMENT NO. 87-1775041, BOTH OF OFFICIAL RECORDS. AN EASEMENT FOR PUBLIC UTILITIES, RECORDED JUNE 10, 1987 AS INSTRUMENT NO. 87-920938, NOVEMBER 5, 1987 AN INSTRUMENT NO. 87-1775041, BOTH OF OFFICIAL RECORDS.
- (T) NON-EXCLUSIVE HIKEING AND EQUESTRIAN TRAIL EASEMENT DEDICATED TO THE CITY OF WALNUT.

ABBREVIATIONS:

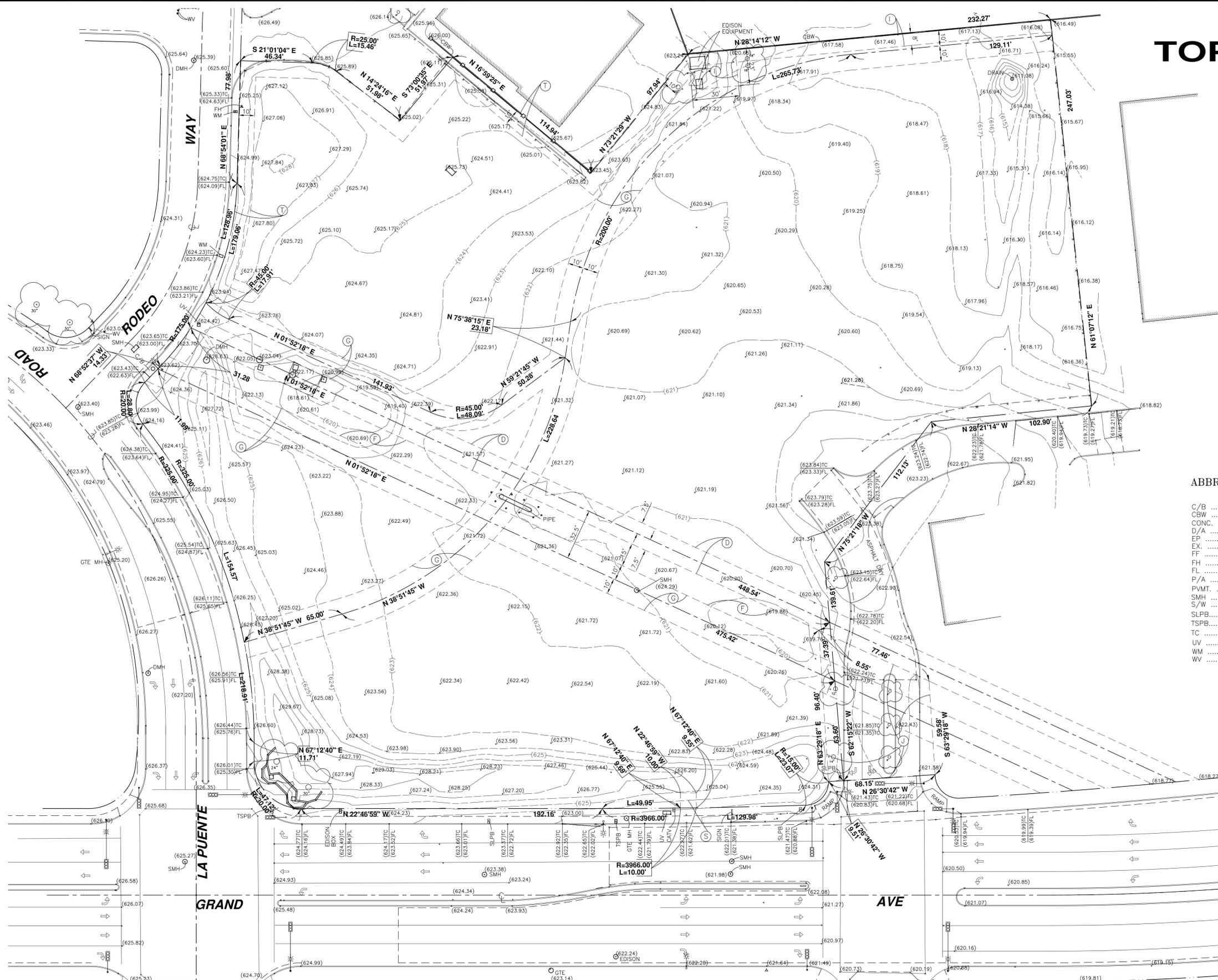
C/B Catch Basin
 CBW Conc. Block Wall
 CONC. Concrete
 D/A Driveway Apron
 EP Edison Pole
 EX. Existing
 FF Finish Floor Elevation
 FH Fire Hydrant
 FL Flow Line Elevation
 P/A Planter Area
 PVMT. Pavement
 SMH Sewer Manhole
 S/W Sidewalk
 SLPB Street Lighting Pull Box
 TSPB Traffic Signal Pull Box
 TC Top of Curb Elevation
 UV Utilities Vault
 WM Water Meter
 WV Water Valve

LEGEND:

(750.10) Existing Elevation
 (750) Ex. Ground Contour Line
 [Symbol] Ex. Structure
 [Symbol] Fire Hydrant
 [Symbol] Street Light
 [Symbol] Area Light
 [Symbol] Traffic Light
 [Symbol] Ex. Tree, Diameter



SCALE: 1"=30'



LEGAL DESCRIPTION:
 LOT 72 OF TRACT NO. 53170, IN THE CITY OF WALNUT, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1266 PAGES 1-10 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCH MARK
 DATUM NAVD 88
 B.M. NUMBER C 4718
 QUAD (YEAR) BASELINE (2005)
 ELEVATION 625.507
 DESCRIPTION DPW BM TAG IN N CB LA PUENTE RD 1.5M(5FT) W/O BCR 10M(33FT) N/O C/L & 23.5M (77FT) W/O C/L GRAND AVE (E END C B)



PLANS PREPARED BY:
 Date
Apple Engineering Group
 Subdivision Engineering Design Survey
 9040 Telstar Ave., Suite 111
 El Monte, California 91731
 Tel: (626) 552-9818 Fax: (626) 529-0848
 Email: Appcivil@gmail.com

TOPOGRAPHIC MAP
 SCALE: 1"=30' APN: 8709-057-026 DATE: 9-7-2013
GRAND AVE., WALNUT, CA

Project:
WALNUT MIXED USE

VACANT LAND AT SOUTHEAST CORNER OF
LA PUENTE ROAD AND GRAND AVE
APN: 8709-057-028

WALNUT, CA 91789

Client:
AVATAR TECHNOLOGY, INC

339 S CHERRY LANE
WALNUT, CA 91789

Stamp:



Drawing Title:
SITE PLAN

CDA Project No. 1906
Date: MAY, 2021
Plot Date: Mar 27, 2023
Phase: 4TH PLANNING
Checked By: EC
Drawn By: CDA
Project No.:
Reference:
Revisions:



1 SITE PLAN
SCALE: 1" = 30'



Project:
WALNUT MIXED USE

VACANT LAND AT SOUTHEAST CORNER OF LA PUENTE ROAD AND GRAND AVE
 APN: 8709-057-028
 WALNUT, CA 91789

Client:
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Stamp:

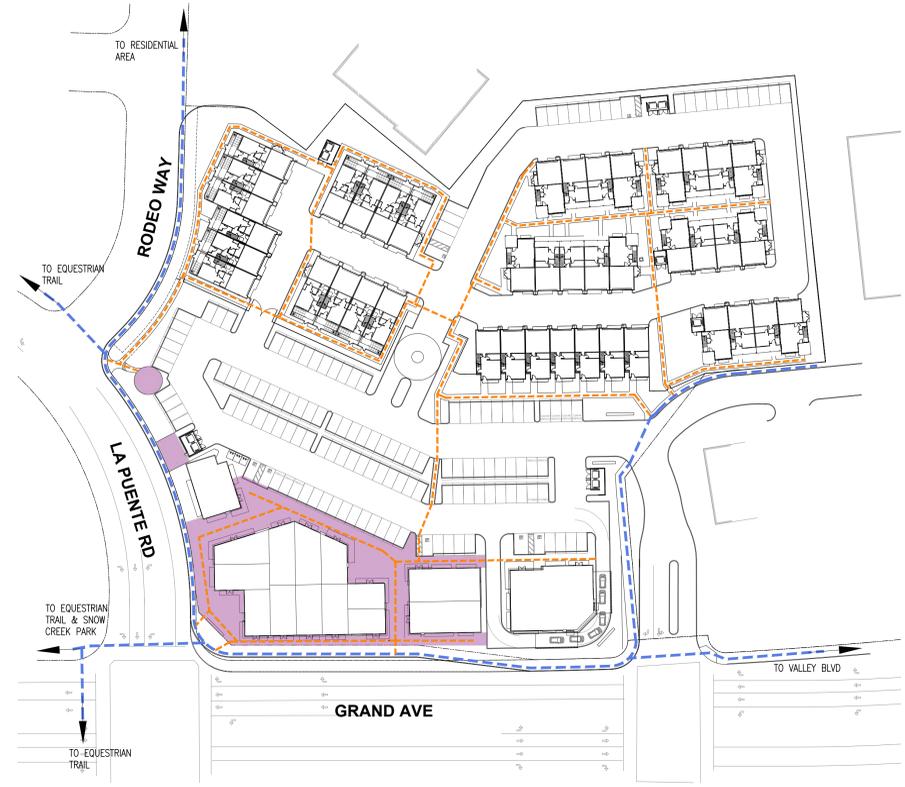


Drawing Title:
SITE PLAN DIAGRAMS

CDA Project No. 1906
 Date: MAY, 2021
 Phase: 4TH PLANNING
 Checked By: EC
 Drawn By: CDA
 Project No.:
 Reference:
 Revisions:

Drawing No.:

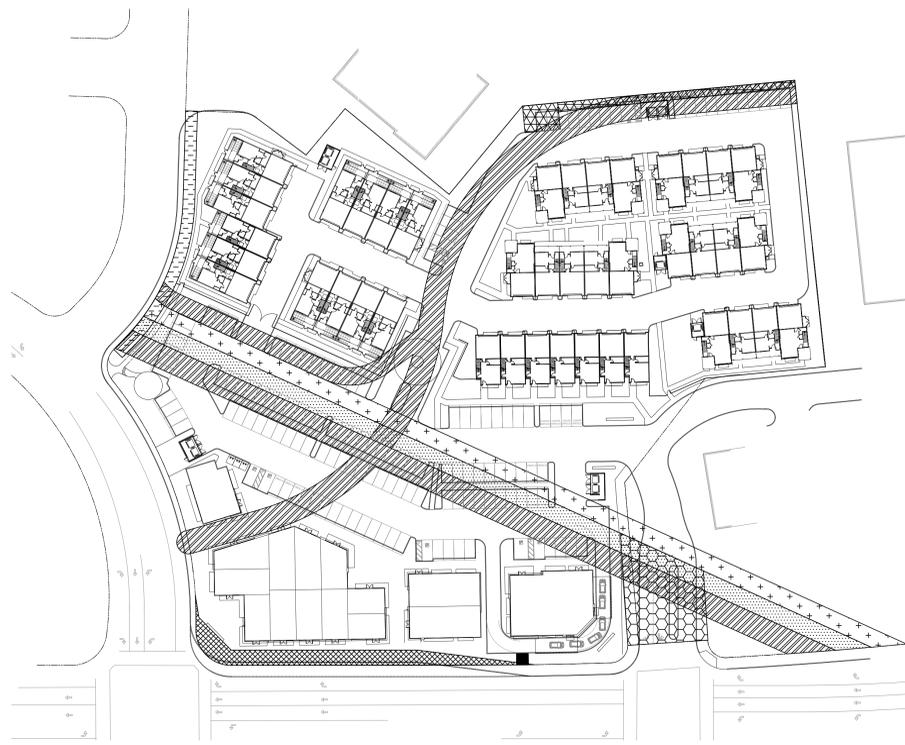
AS-103



2 PEDESTRIAN ACCESS DIAGRAM
 SCALE: 1" = 60'

LEGEND

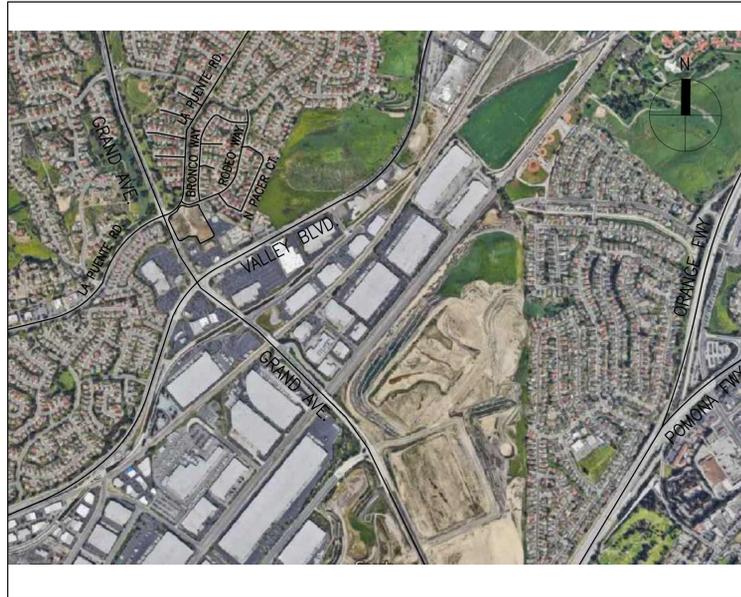
- PEDESTRIAN FRIENDLY COMMON AREA ON SITE
- INTERNAL PEDESTRIAN CIRCULATION
- COMMON PEDESTRIAN CIRCULATION



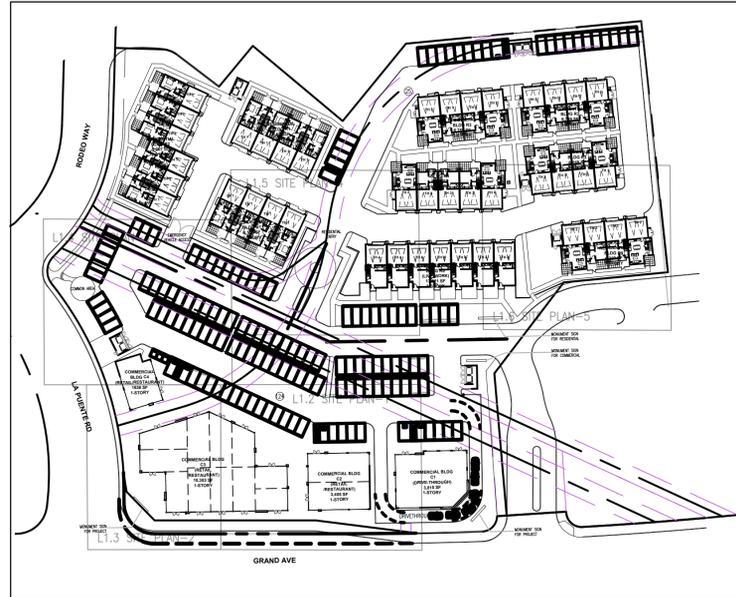
1 EASEMENT DIAGRAM (SEE CIVIL FOR DETAILS)
 SCALE: 1" = 60'

LEGEND

- EASEMENT D - METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA
- EASEMENT F - ROWLAND AREA COUNTY WATER DISTRICT
- EASEMENT G - THE CITY OF WALNUT - STORM DRAIN
- EASEMENT I - SOUTHERN CALIFORNIA EDISON
- EASEMENT J - THE CITY OF WALNUT - PUBLIC UTILITIES
- EASEMENT S - VERIZON CALIFORNIA
- EASEMENT T - THE CITY OF WALNUT - HIKING & EQUESTRIAN TRAILS
- DEDICATION - CITY OF WALNUT



VICINITY MAP



SHEET INDEX MAP

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GENERAL NOTES:

1)SEE ARCH DWGS FOR BUILDING PLANS AND DETAILS TYP.

SCHEDULE OF ON-SITE MEETINGS:

CONTRACTOR TO PROVIDE STOUT AND/OR CLIENT REPRESENTATIVE WITH MIN. 72 HOUR NOTICE (BY EMAIL OR PHONE CALL) WHEN SCHEDULING ON-SITE MEETINGS WITH STOUT AND/OR CLIENT REPRESENTATIVE FOR THE FOLLOWING ON-SITE MEETINGS. CONTRACTOR TO OVERLAY MEETINGS TO THE BEST OF HIS/HER ABILITY.

GENERAL:

A. FINAL SITE REVIEW - 5 DAYS

GRADING AND DRAINAGE PHASE:

A. AFTER COMPLETION OF ROUGH GRADING FOR SWALE AREAS AND LOW MOUNDING AREAS.
B. ONCE FINAL GRADING HAS BEEN COMPLETED.

HARDSCAPE PHASE:

A. ONCE HARDSCAPE HAS BEEN MARKED OUT BEFORE FORMS ARE PLACED.
B. ONCE HARDSCAPE FORMS ARE IN-PLACE, BEFORE CONCRETE IS POURED.
C. AFTER CONCRETE HAS BEEN POURED.
D. ONCE BOULDERS HAVE BEEN MARKED OUT.
E. PLACEMENT OF BOULDERS.
F. AFTER INSTALLATION OF BOULDERS.

IRRIGATION PHASE:

A. BALL VALVE AND P.O.C., WYE STRAINER, PRESSURE REGULATOR, FLOW METER, CONTROL VALVE, LOCATIONS - 72 HOURS.
B. MAINLINE PRESSURE TEST - 72 HOURS
C. LATERAL LINE AND DRIP LINE INSTALLATION - 72 HOURS
D. DRIPPER EMISSION TEST - 72 HOURS

PLANTING PHASE:

A. ONCE PLANTS HAVE BEEN SET OUT PER PLAN - 72 HOURS
B. ONCE ALL PLANTS HAVE BEEN INSTALLED AND BEFORE MULCH LAYER HAS BEEN APPLIED - 72 HOURS.

ABBREVIATION LEGEND		
ARCH	ARCHITECT	INV INVERT
CL	CENTER LINE	HP HIGH POINT
CLR	CLEAR	LP LOW POINT
D	DOOR	MFG MANUFACTURER
DS	DOWNSPOUT	OC ON CENTER
EQ	EQUAL	QTY QUANTITY
DWG	DRAWINGS	PA PLANTING AREA
EX	EXISTING	SJ SCORE JOINT
FF	FINISH FLOOR	SYM SYMBOL
FG	FINISH GRADE	TYP TYPICAL
GC	GROUNDCOVER	W WINDOW
HB	HOSE BIB	

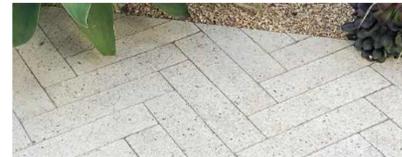
SYMBOL LEGEND	
●	EXISTING DOWNSPOUT
■	EXISTING ELECTRICAL OUTLET
⊕	EXISTING HOSE BIB
→	EXISTING SLOPE
+41.17	EXISTING SPOT ELEVATION
✕	EXISTING TREE TO BE REMOVED
⊕	EXISTING IRRIGATION VALVE
DS ⊕	PROPOSED DOWNSPOUT
■	PROPOSED ELECTRICAL OUTLET
HB ⊕	PROPOSED HOSE BIB
—	PROPOSED BRICKSLOT DRAIN
D ⊕	PROPOSED DRAIN
PD ⊕	PROPOSED PLANTER DRAIN
-2% →	PROPOSED SLOPE
PU ⊕	3" POP UP DRAIN AT SWALE
⊕	NEW SOD
⊕	PLANTING AREA
DN ⊕	STEP DOWN ARROW
UP ⊕	STEP UP ARROW
—	ABOVE-GROUND CONVEYANCE
—	BELOW-GROUND CONVEYANCE

BOULDER & STONE LEGEND		
SYMBOL	DESCRIPTION	QUANTITY
LRG	LARGE BOULDER (24"-36")	X
MED	MEDIUM BOULDER (18"-24")	X
SM	SMALL BOULDER (12"-18")	X
⊕	DECORATIVE GRAVEL	SF

NOTES:
1) BOULDERS TO BE MALIBU BOULDERS OR AS CLOSE A MATCH AS POSSIBLE (ROUNDED, WARM COLOR BOULDERS AS OPPOSED TO SHARP EDGES & GRAY)
2) DECORATIVE GRAVEL: USE 3/8" AND 1/2" MIXED DEL RIO, UNLESS OTHERWISE SPECIFIED

FINISHES AND MATERIALS:

- A NATURAL COLOR CONCRETE W/ BROOM FINISH
- B #1COLOR CONCRETE W/ SAND WASH
- C #2COLOR CONCRETE W/ SAND WASH
- D ORCO 4X16 STONE W/ WHITE COLOR W/BURNISH FINISH



- E ORCO MONDULO 24X24 W/ BORREGO COLOR



- F TIMBERTECH AZEK VINTAGE DECKING BOARD W/WEATHER TEAK COLOR



- G ORCO MONDULO 24X24 W/ TUSCANY COLOR



- H ORCO CORSIA FLAGSTONE W/ BORREGO COLOR



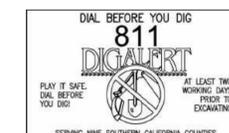
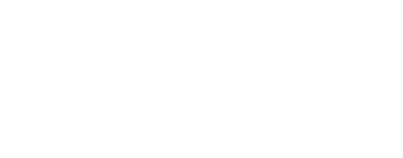
- I ARTIFICIAL TURF



- J DECOMPOSED GRANITE W/ SANDSTONE COLOR



- K #3COLOR CONCRETE W/ SAND WASH



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 Temple City, CA 91780
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 626-888-9915

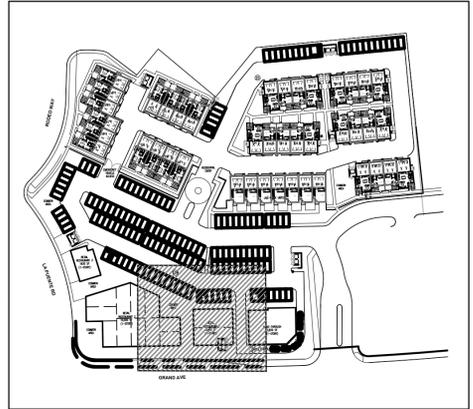
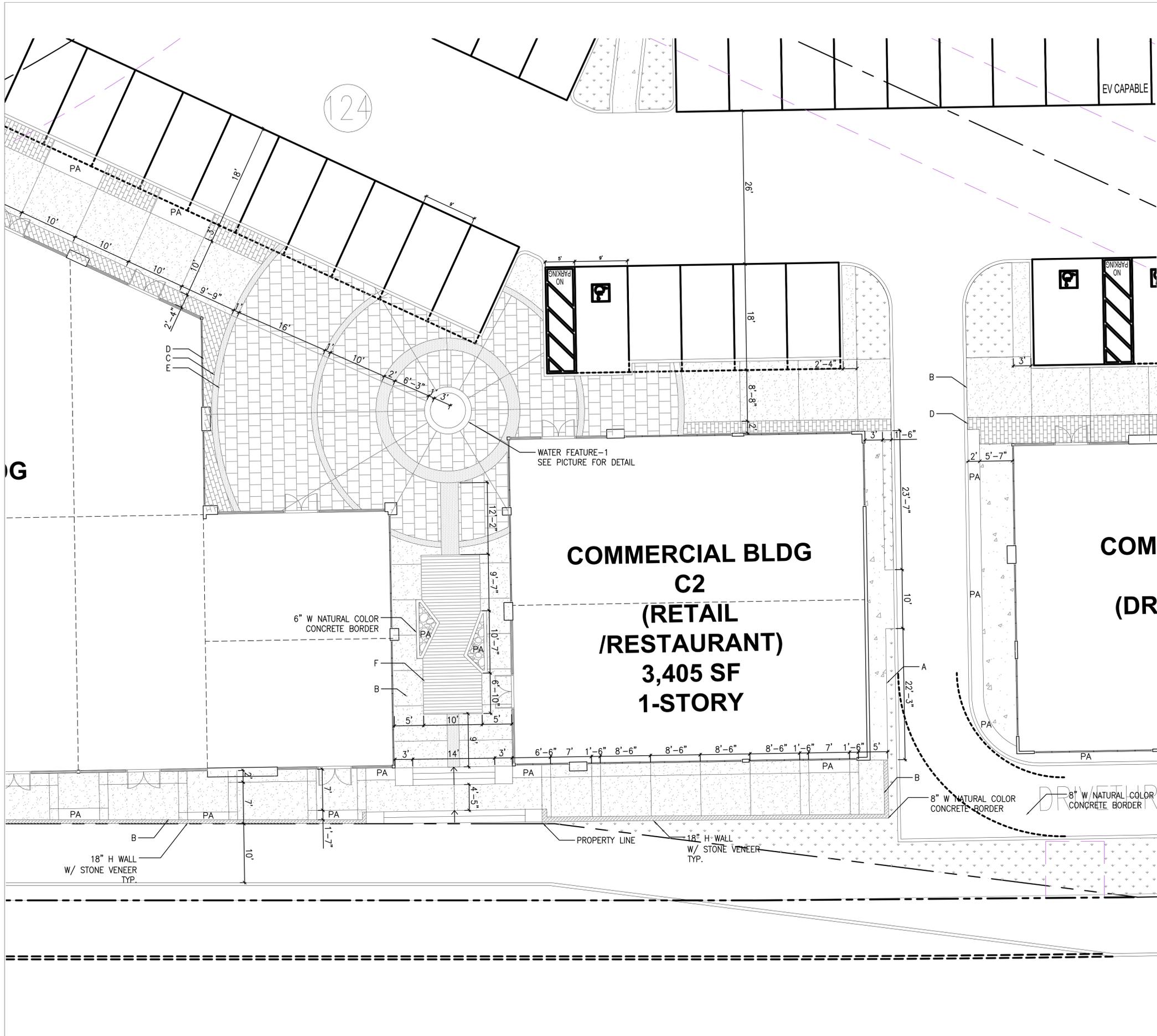
Project:
Auspert Investment LLC
 Grande Ave, Walnut, CA 91789

TITLE SHEET

Revisions:
 --05/28/2020
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Submittal Date:
 January 28, 2020

Sheet Number:
 L1.0



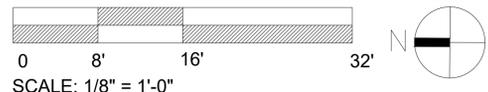
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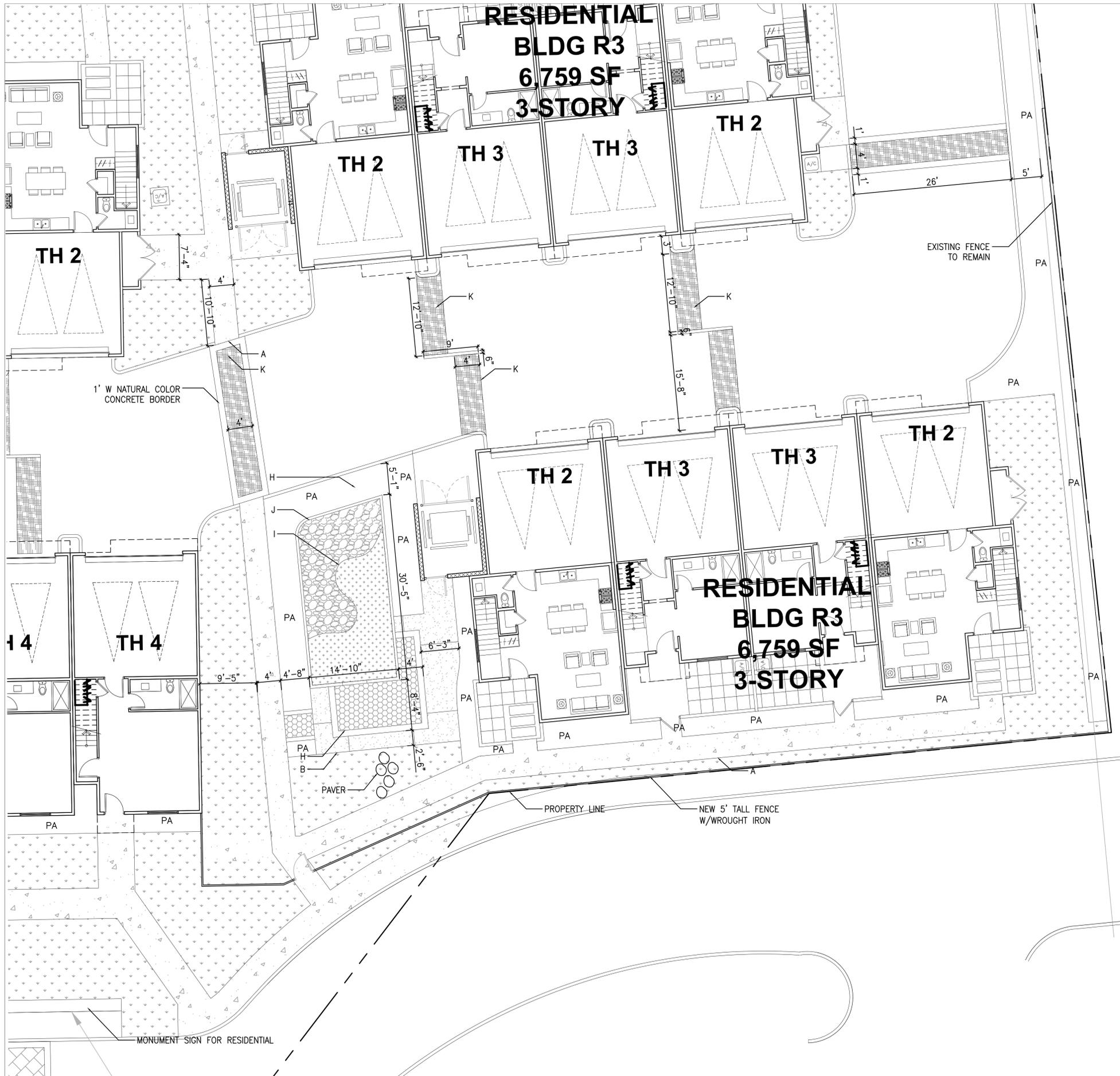
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SITE PLAN-1

Revisions:
 --05/28/2020
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 --
 Submittal Date:
 January 28, 2020
 Sheet Number:
 L1.2





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Project:
Auspet Investment LLC
Grande Ave, Walnut, CA 91789

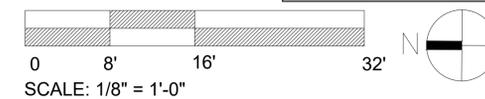
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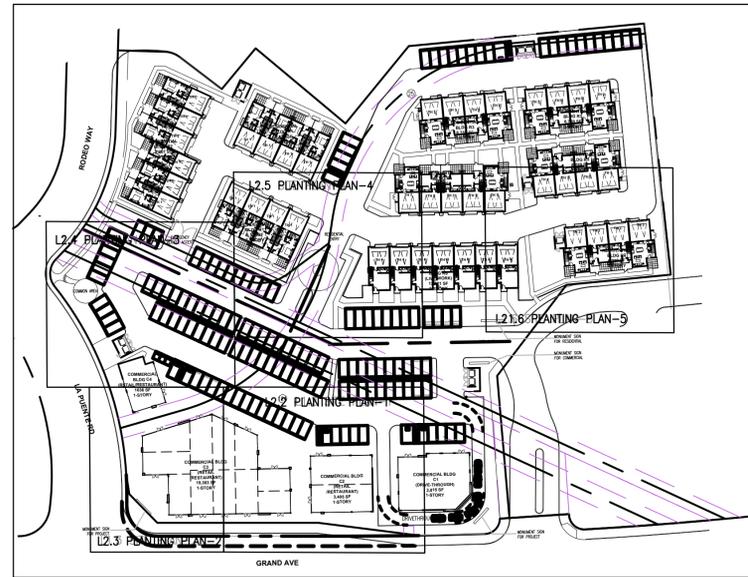
Revisions:
--05/28/2020

Submittal Date:
January 28, 2020

Sheet Number:

L1.6





SHEET INDEX MAP

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.
TREE				
WR	Washingtonia robusta	Mexican Fan Palm	24 box	5
M	Magnolia g. 'Majestic Beauty'	Majestic Beauty Magnolia	5G	13
CL	Cassia letophylla	Gold Medallion	5G	40
PC	Pistachia chinensis	Chinese Pistache	5G	4
AJ	Albizia julibrissin	Mimosa	5G	10
CO	Cercis Occidentalis	Western redbud	5G	18
LI	Lagerstroemia indica	Crepe myrtle	15G	4
PIB	Podocarpus 'Icee Blue'	Yew plum pine	15G	8
SHRUB				
BM	Buxus microphylla	Japanese Boxwood	5 G	171
AP	Achillea paprika	Common Yarrow	5 G	105
DP	Digitalis purpurea	Foxgloves	5 G	19
AH	Anigozanthos harmony	Kangaroo Paw	5 G	49
PC	Phormium cookianum	Mountain flax	5 G	182
SL	Salvia leucantha	Mexican Bush Sage	5 G	23
L	Lantana camara	Lantana	5 G	9
S	Strelitzia reginae	Bird of paradise	5 G	21
GRASS				
+	Festuca spp.	Fine Fescues	SF	26354
M	Miscanthus 'Gracillimus'	Eulalia	1 G	38
⊕	Festuca glauca 'Elijah Blue'	blue fescue	1 G	99
⊕	Carex praegeracilis	Clustered Field Sedge	5 G	186

Note:

- All planting areas to be cover with mulch, bark mulch is to be brown or dark brown in color. Colored mulch is not permitted in the front yard per the design guidelines.
- The planting will be verified at the notice of completion and must be installed per the approved plan. Plant substitutions must be submitted for review prior to installation.
- At least once a week, pick up and dispose of any fruit on the ground or that is spoiling in the tree.
- All trees shall be located three feet clear of the property line walls and sidewalk and include a root barrier device.

TREE



Magnolia g. 'Majestic Beauty'



Albizia julibrissin



Cassia letophylla



Pistachia chinensis



Lagerstroemia indica



Podocarpus 'Icee Blue'



Mexican Fan Palm



cercis occidentalis

SHRUB



Buxus microphylla



Achillea paprika



Anigozanthos harmony



Phormium cookianum



Salvia leucantha



Lantana camara



Strelitzia reginae



Digitalis purpurea

GRASS AND GROUND COVER



Festuca spp.



Festuca glauca 'Elijah Blue'



Miscanthus 'Gracillimus'



Carex praegeracilis



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PLANTING PLAN INDEX

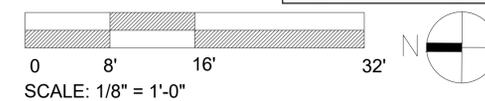
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L2.0



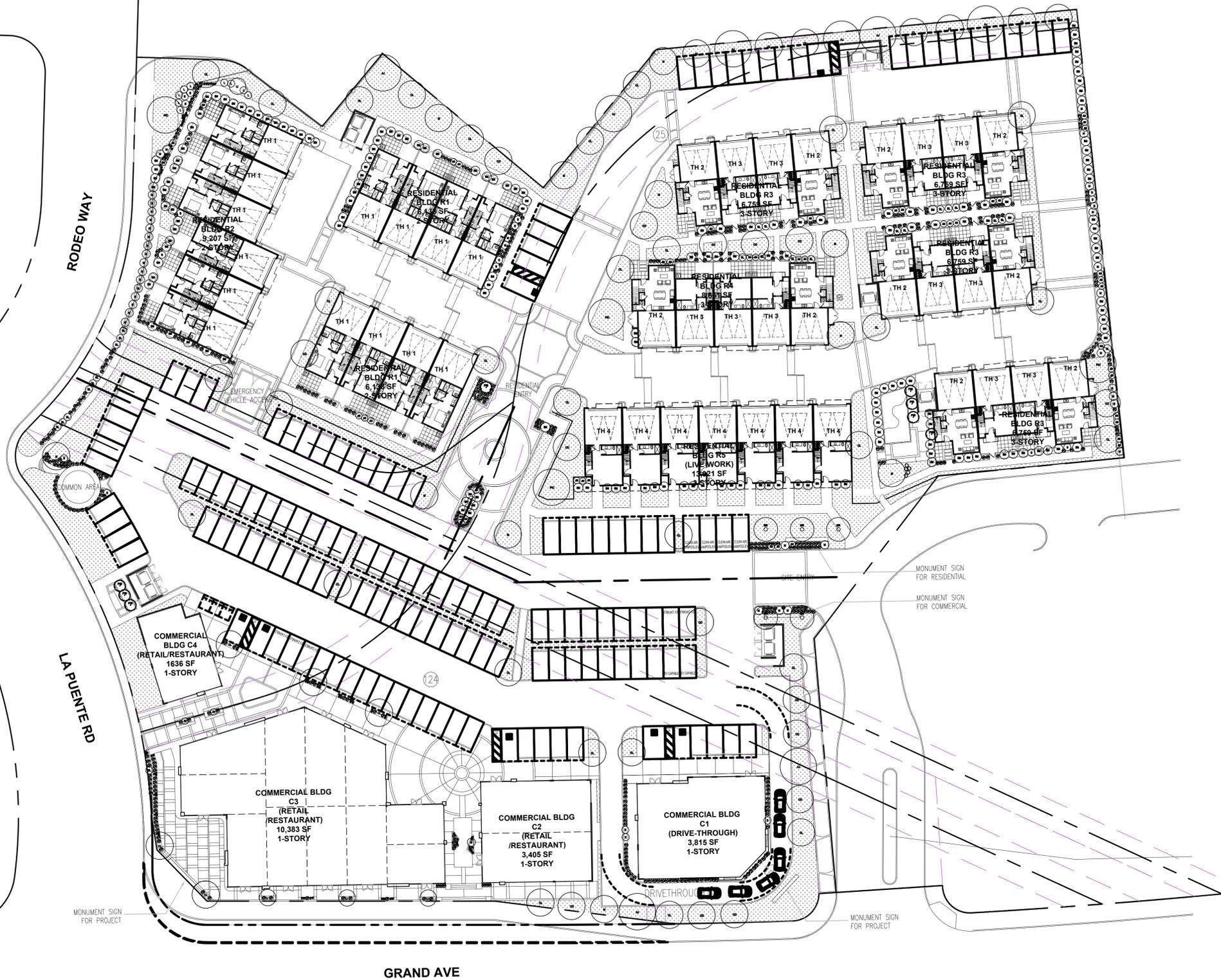


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PLANTING PLAN - OVERALL



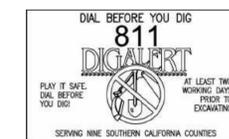
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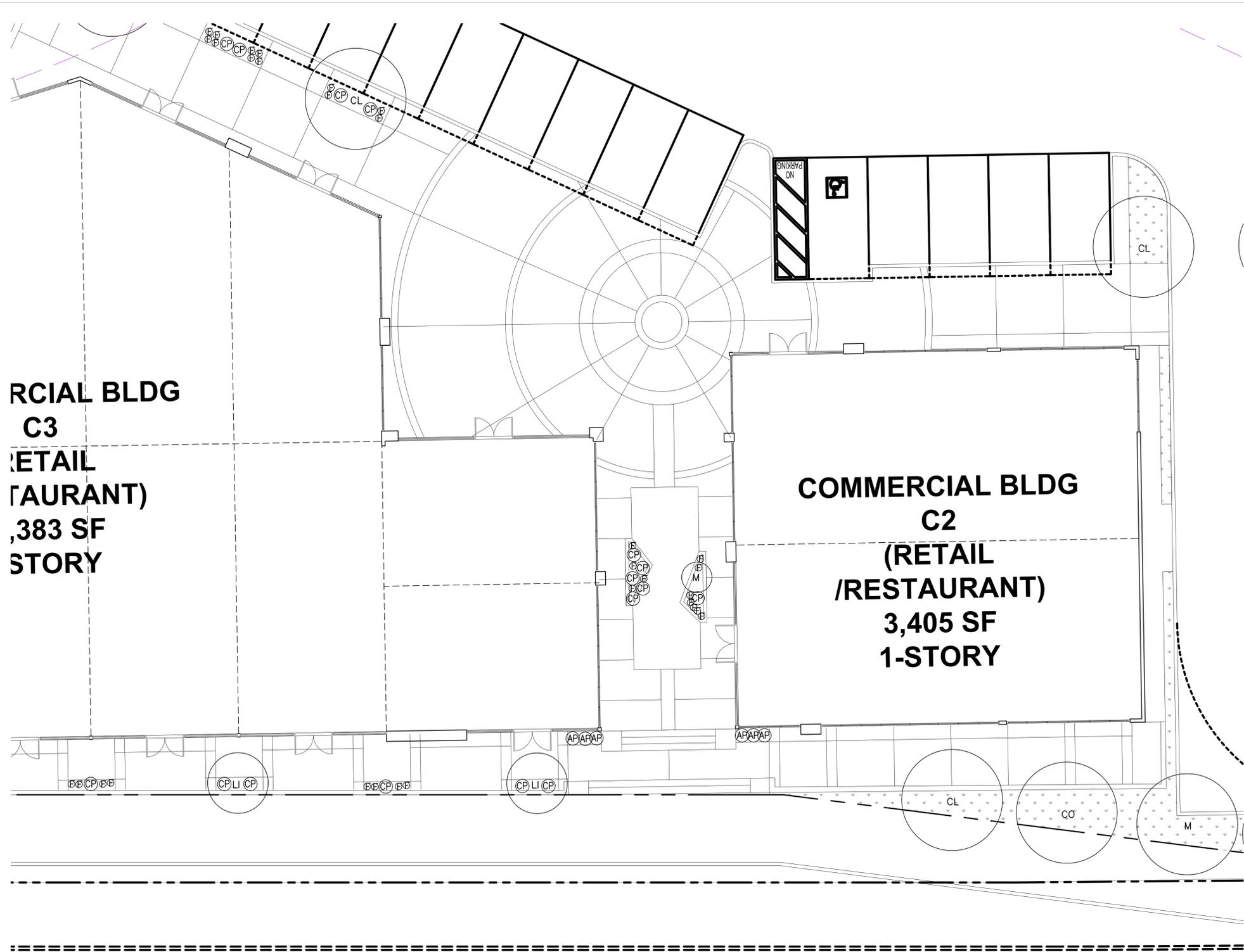
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Sheet Number:

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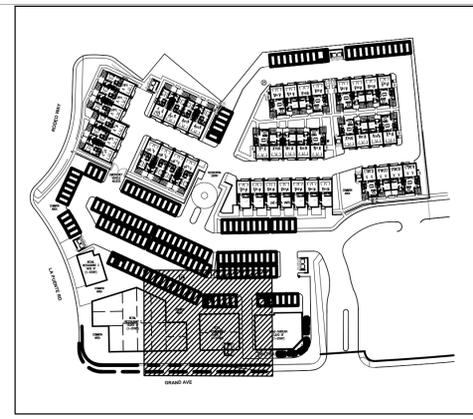




**COMMERCIAL BLDG
C3
(RETAIL
/RESTAURANT)
3,383 SF
1-STORY**

**COMMERCIAL BLDG
C2
(RETAIL
/RESTAURANT)
3,405 SF
1-STORY**

GRAND AVE



INDEX MAP



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LLC**
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PLANTING PLAN - 1

Revisions:	--05/28/2020
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Submittal Date:	January 28, 2020
Sheet Number:	L2.2

DIAL BEFORE YOU DIG
**811
DIGAERT**
PLAY IT SAFE.
DIAL BEFORE
YOU DIG!
AT LEAST TWO
WORKING DAYS
PRIOR TO
EXCAVATING
SERVING NINE SOUTHERN CALIFORNIA COUNTIES

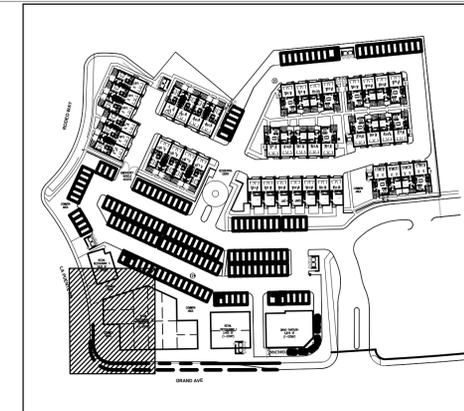
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A PUENTE RD

**1030 SF
1-STORY**

**COMMERCIAL BLDG
C3
(RETAIL
/RESTAURANT)
10,383 SF
1-STORY**

MONUMENT SIGN
FOR PROJECT



INDEX MAP



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PLANTING PLAN-2

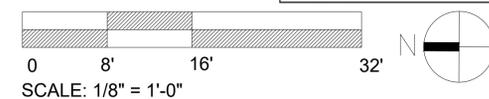
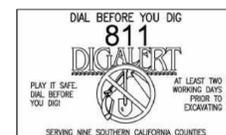
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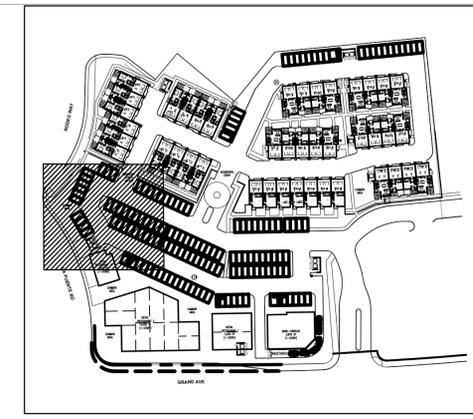
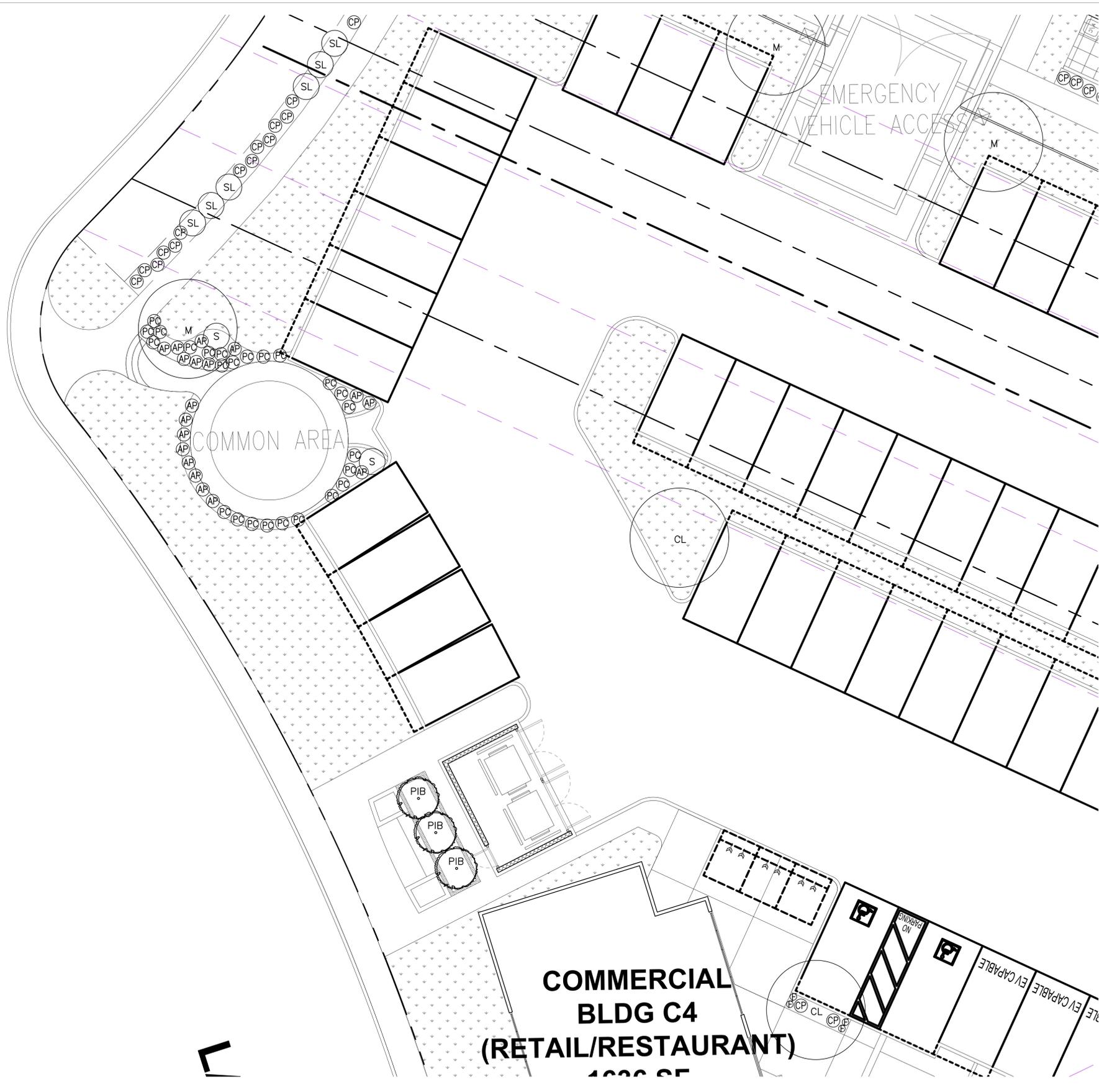
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January 28, 2020

Sheet Number:

L2.3





INDEX MAP

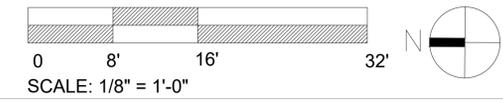
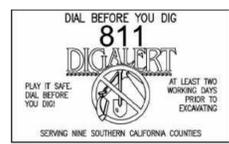


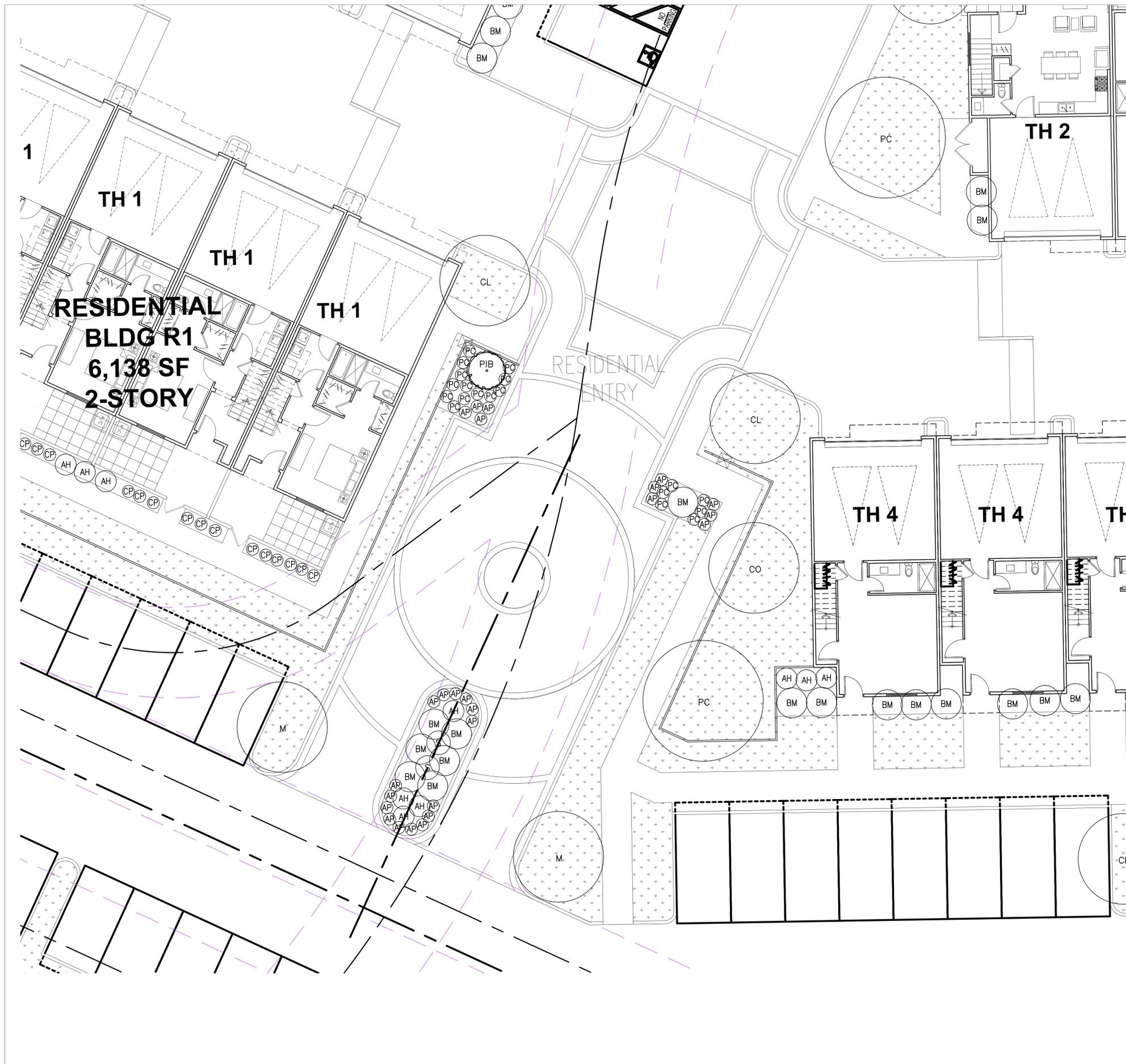
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PLANTING PLAN-3

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Submittal Date:	January 28, 2020
Sheet Number:	L2.4





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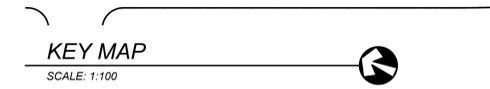
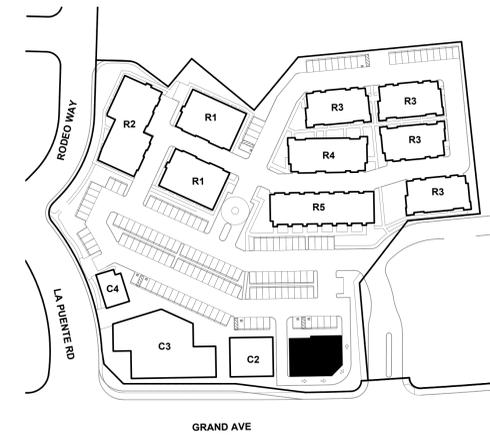
Project:
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 Grande Ave, Walnut, CA 91789

PLANTING PLAN - 4

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Submittal Date:	January 28, 2020
Sheet Number:	L2.5

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811 DIGAERT
 PLAY IT SAFE. DIAL BEFORE YOU DIG!
 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATING
 SERVING NINE SOUTHERN CALIFORNIA COUNTIES

SCALE: 1/8" = 1'-0"



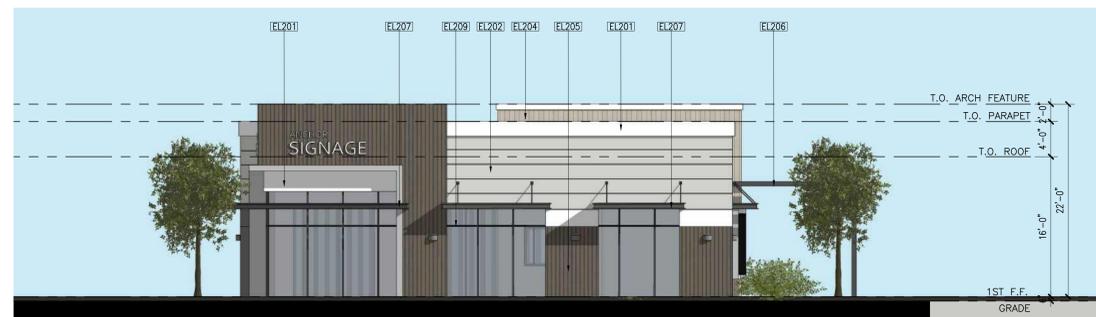
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EL202	STUCCO COLOR MATCH DUNN EDWARDS DE6366 SILVER SPOON
EL203	STUCCO COLOR MATCH DUNN EDWARDS DE6382 FORMAL GREY
EL204	SIDING ALLURA - SMOOTH LAP - SAVANNAH WICKER
EL205	SIDING ALLURA - SMOOTH LAP - TAUPE
EL206	TRELLIS COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL207	OVERHANG COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL208	MULLION COLOR MATCH DUNN EDWARDS DE6362 STORM CLOUD
EL209	STOREFRONT



5 BUILDING C1 RIGHT ELEVATION
 SCALE: 1/8" = 1'



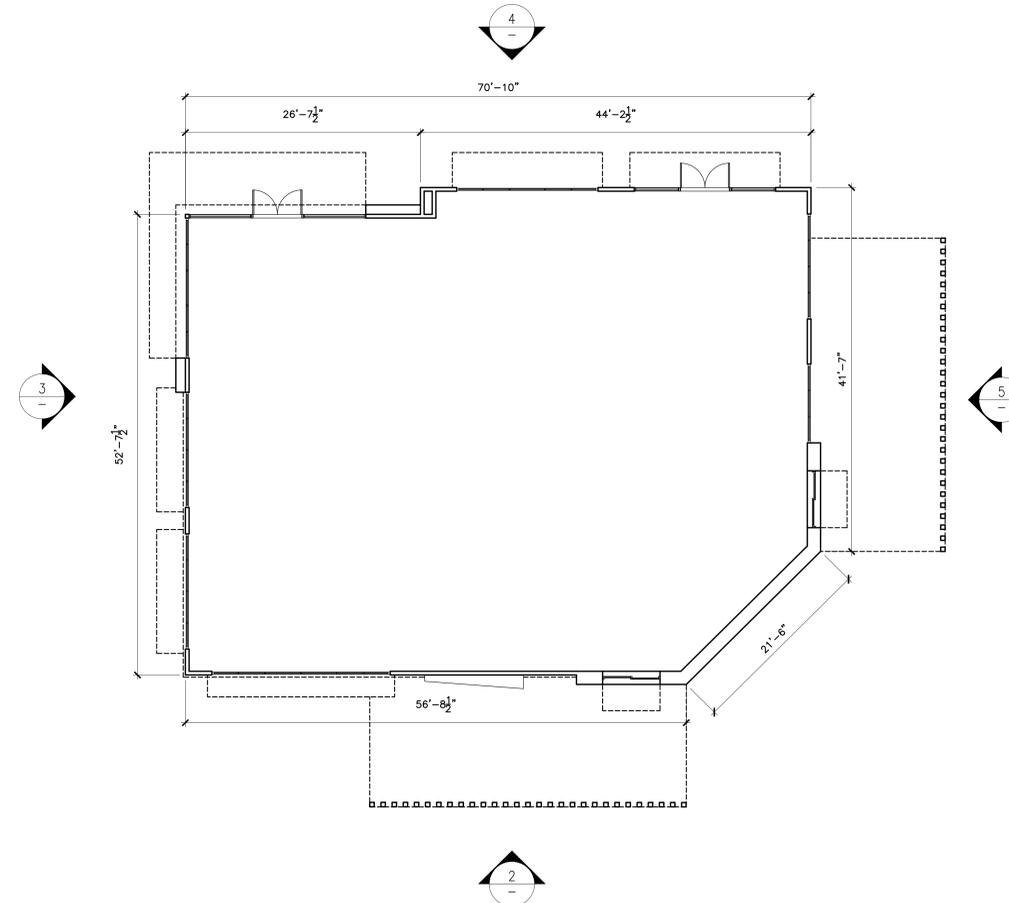
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 SCALE: 1/8" = 1'



3 BUILDING C1 LEFT ELEVATION
 SCALE: 1/8" = 1'



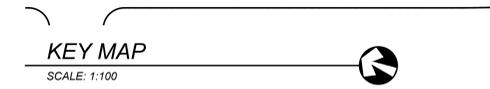
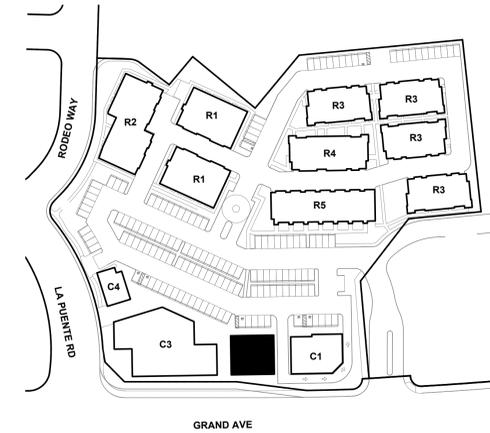
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1 BUILDING C1 (DRIVE-THROUGH) FLOOR PLAN
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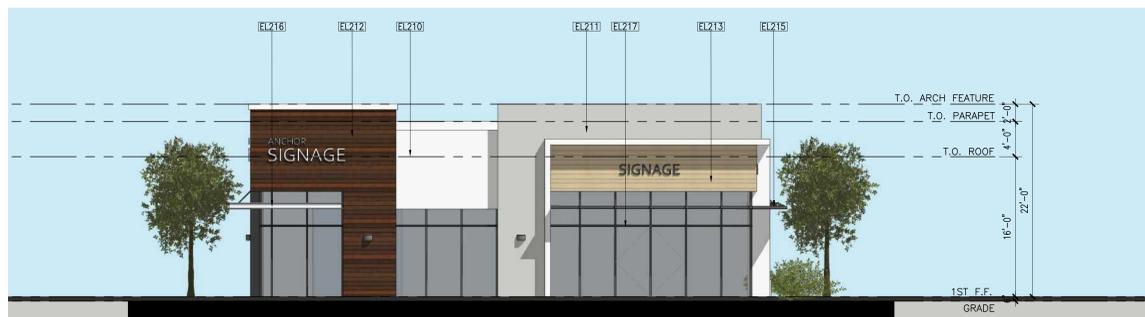
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EL212	SIDING COLOR MATCH DUNN EDWARDS DE6084 ROXY BROWN
EL213	SIDING ALLURA - SMOOTH LAP - CARAMELIZED PEARS
EL214	STUCCO COLOR MATCH DUNN EDWARDS DE6382 FORMAL GREY
EL215	OVERHANG COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL216	OVERHANG COLOR MATCH DUNN EDWARDS DEW383 COOL DECEMBER
EL217	MULLION COLOR MATCH DUNN EDWARDS DE6362 STORM CLOUD



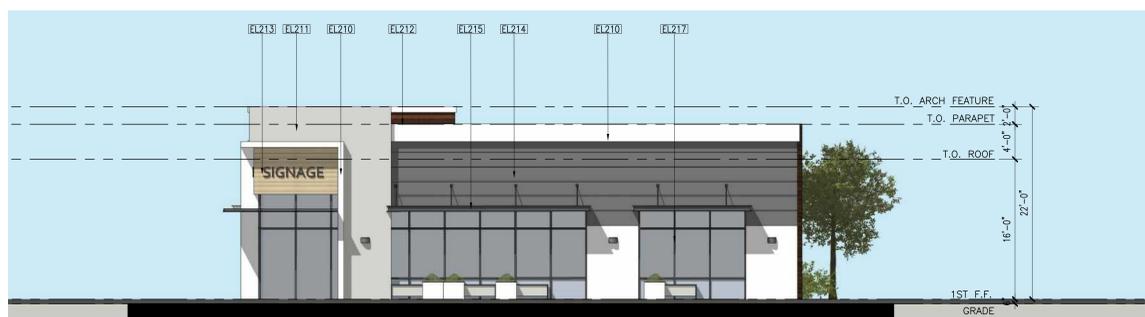
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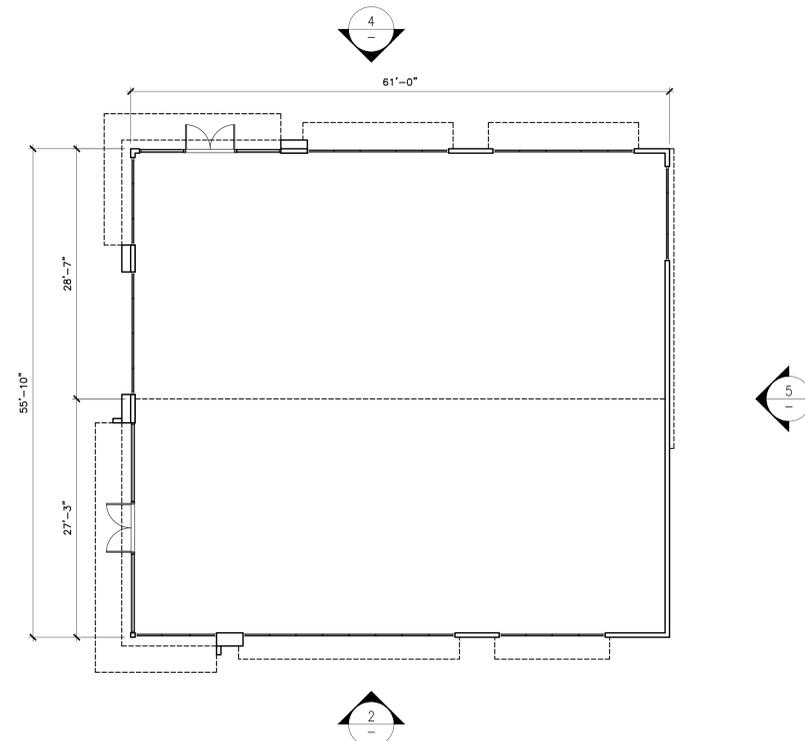
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3 BUILDING C2 LEFT ELEVATION
 SCALE: 1/8" = 1'



2 BUILDING C2 FRONT ELEVATION
 SCALE: 1/8" = 1'



1 BUILDING C2 FLOOR PLAN
 SCALE: 1/8" = 1'

Project:
WALNUT MIXED USE

VACANT LAND AT SOUTHEAST CORNER OF
 LA PUENTE ROAD AND GRAND AVE
 APN: 8709-057-028
 WALNUT, CA 91789

Client:
AVATAR TECHNOLOGY, INC

339 S CHERRY LANE
 WALNUT, CA 91789

Stamp:

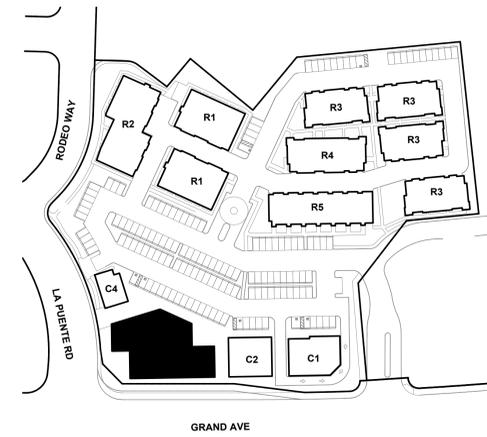


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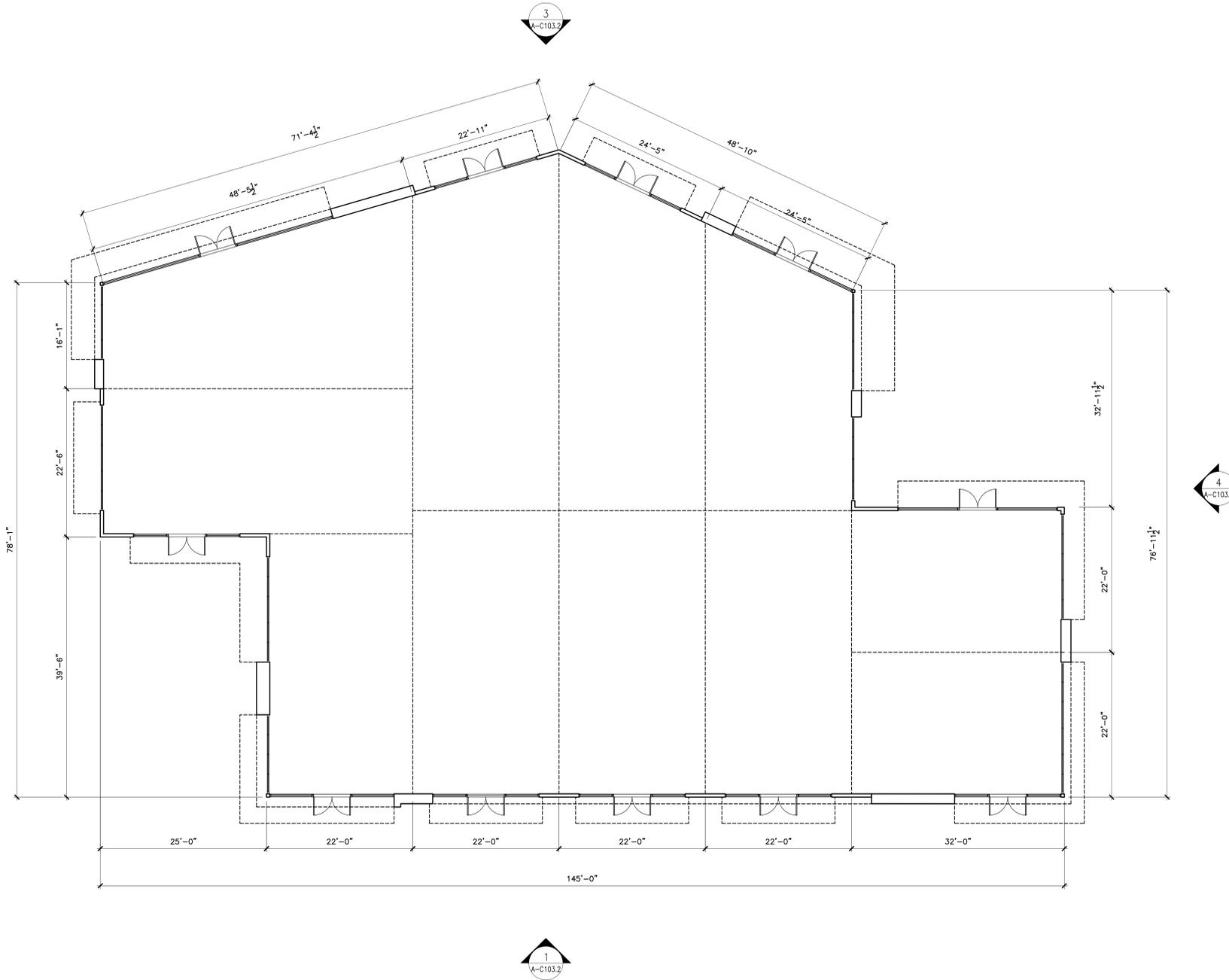
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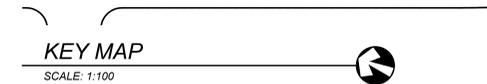
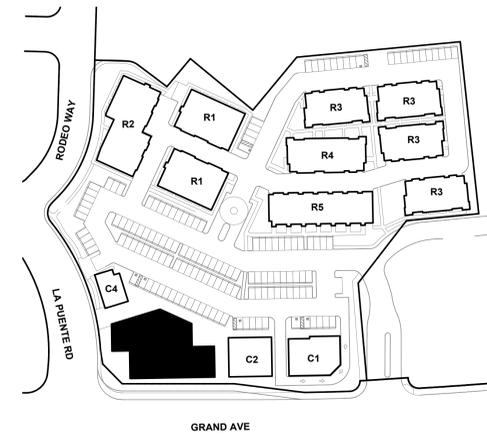
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KEY MAP
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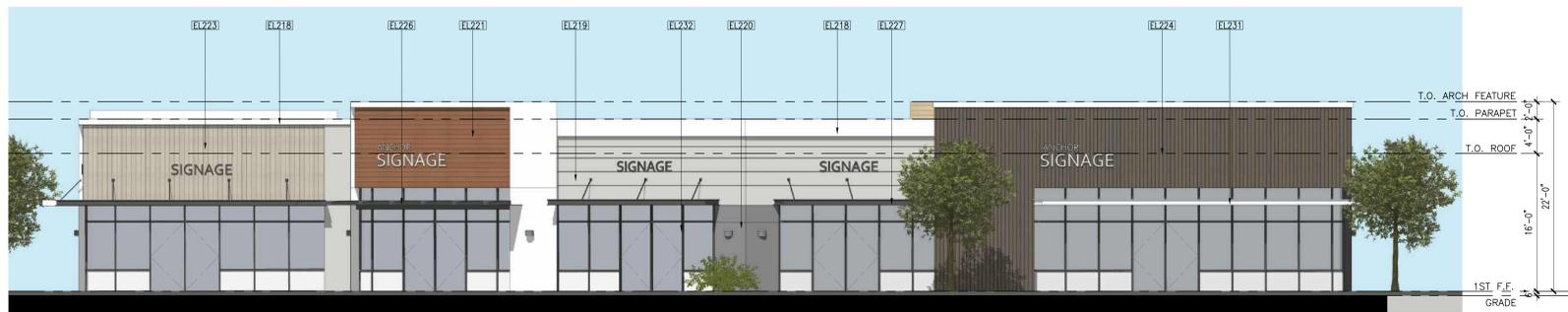
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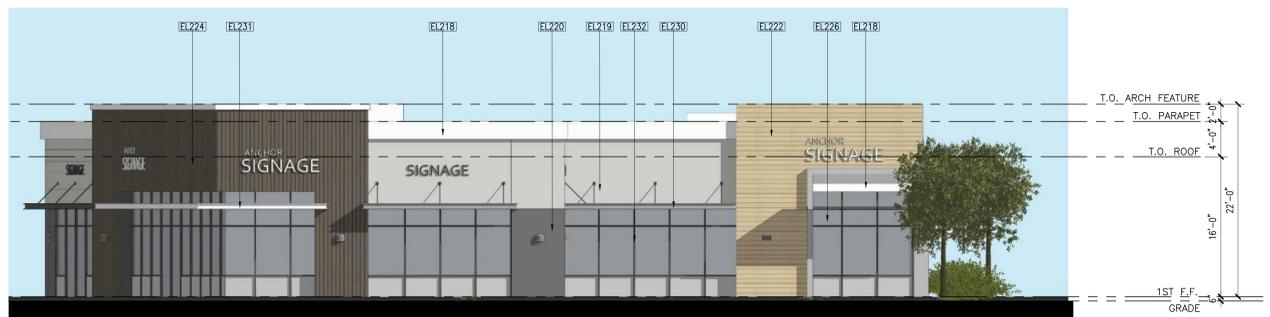
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EL220	STUCCO COLOR MATCH DUNN EDWARDS DE6382 FORMAL GREY
EL221	SIDING ALLURA - SMOOTH LAP - RED ROCK FALLS
EL222	SIDING ALLURA - SMOOTH LAP - CARAMELIZED PEARS
EL223	SIDING ALLURA - SMOOTH LAP - SAVANNAH WICKER
EL224	SIDING ALLURA - SMOOTH LAP - TAUPE
EL225	NOT USED
EL226	GLASS OVERHANG TRIM COLOR MATCH DUNN EDWARDS DE6362 STORM CLOUD
EL227	OVERHANG COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL228	NOT USED
EL229	NOT USED
EL230	OVERHANG COLOR MATCH DUNN EDWARDS DE6362 STORM CLOUD
EL231	OVERHANG COLOR MATCH DUNN EDWARDS COOL DECEMBER
EL232	MULLION COLOR MATCH DUNN EDWARDS DE6362 STORM CLOUD



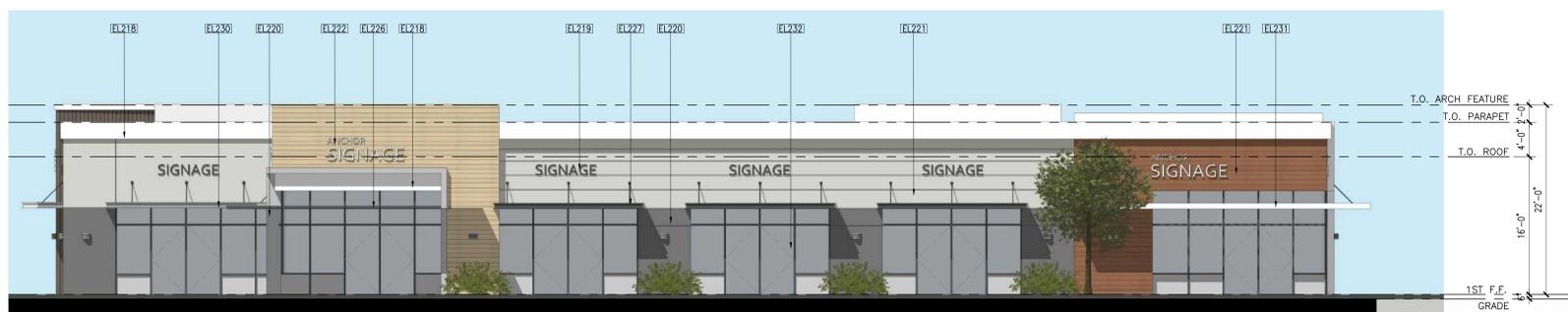
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3 BUILDING C3 REAR ELEVATION
 SCALE: 1/8" = 1'



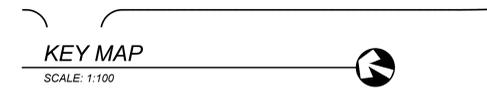
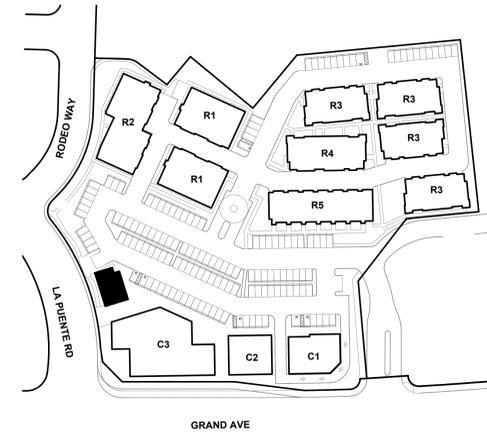
2 BUILDING C3 LEFT ELEVATION
 SCALE: 1/8" = 1'



1 BUILDING C3 FRONT ELEVATION
 SCALE: 1/8" = 1'



KEYNOTES	
EL233	STUCCO COLOR MATCH DUNN EDWARDS DEW383 COOL DECEMBER
EL234	STUCCO COLOR MATCH DUNN EDWARDS DE6366 SILVER SPOON
EL235	STUCCO COLOR MATCH DUNN EDWARDS DE6382 FORMAL GREY
EL236	SIDING COLOR MATCH DUNN EDWARDS DE6084 ROXY BROWN
EL237	SIDING ALLURA - SMOOTH LAP - CAMELIZED PEARS
EL238	MULLION COLOR MATCH DUNN EDWARDS DE6362 STORM CLOUD
EL239	OVERHANG COLOR MATCH DUNN EDWARDS DE6362 STORM CLOUD
EL240	GLASS OVERHANG TRIM COLOR MATCH DUNN EDWARDS DE6362 STORM CLOUD



5 BUILDING C4 RIGHT ELEVATION
 SCALE: 1/8" = 1'



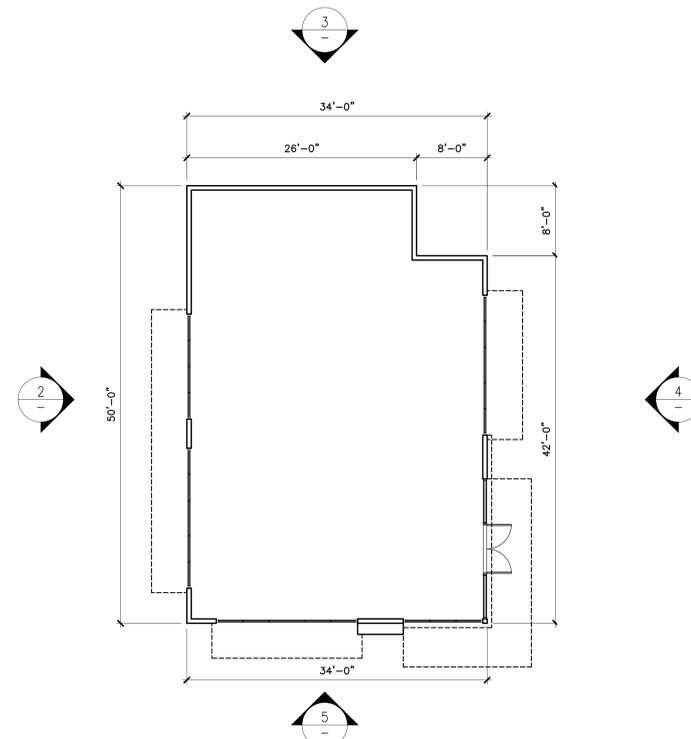
4 BUILDING C4 REAR ELEVATION
 SCALE: 1/8" = 1'



3 BUILDING C4 LEFT ELEVATION
 SCALE: 1/8" = 1'



2 BUILDING C4 FRONT ELEVATION
 SCALE: 1/8" = 1'



1 BUILDING C4 FLOOR PLAN
 SCALE: 1/8" = 1'

Project:
WALNUT MIXED USE

VACANT LAND AT SOUTHEAST CORNER OF
 LA PUENTE ROAD AND GRAND AVE
 APN: 8709-057-028
 WALNUT, CA 91789

Client:
AVATAR TECHNOLOGY, INC

339 S CHERRY LANE
 WALNUT, CA 91789

Stamp:

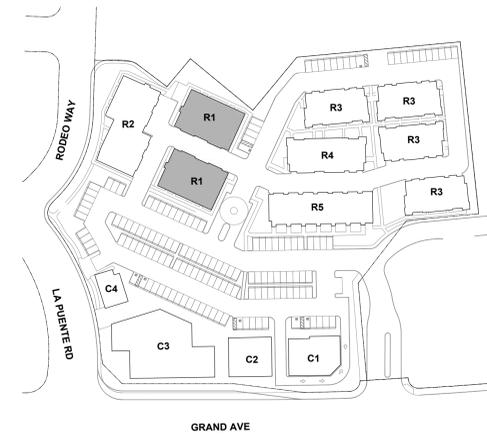


Drawing Title:
RESIDENTIAL BUILDING R1 FLOOR PLANS

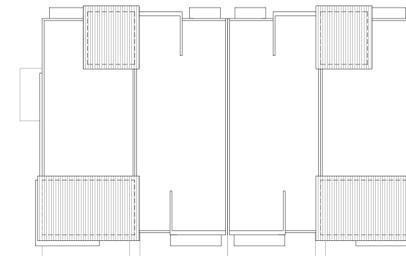
CDA Project No. 1906
 Date: MAY, 2021
 Phase: 4TH PLANNING
 Checked By: EC
 Drawn By: CDA
 Project No.:
 Reference:
 Revisions:

Drawing No.:

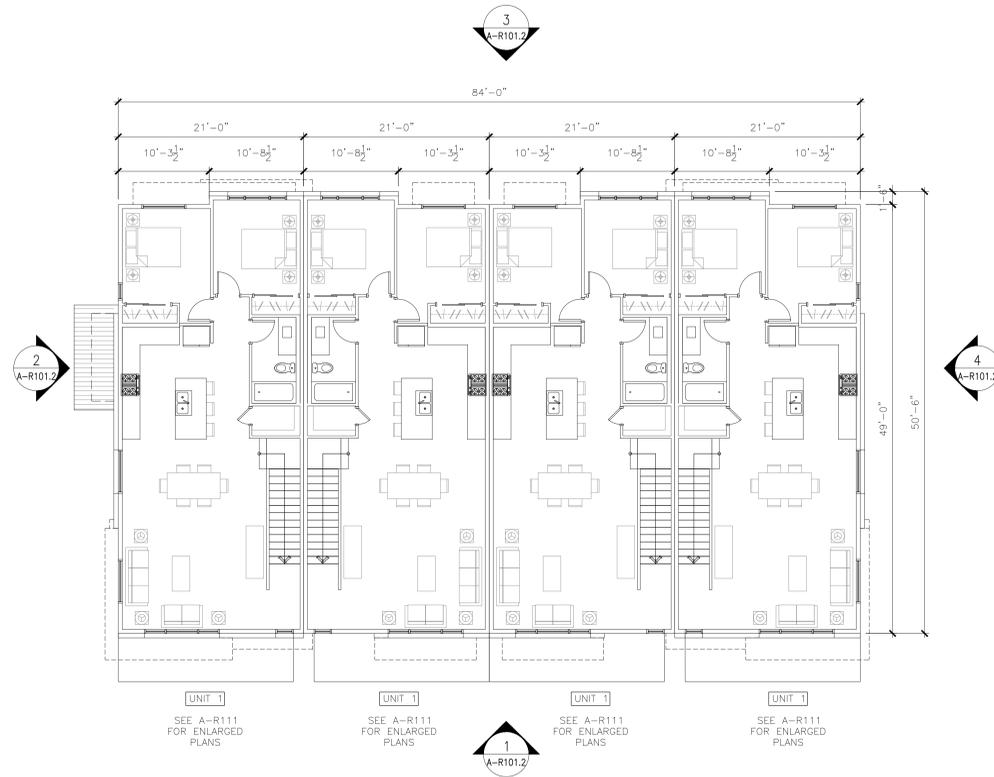
A-R101.1



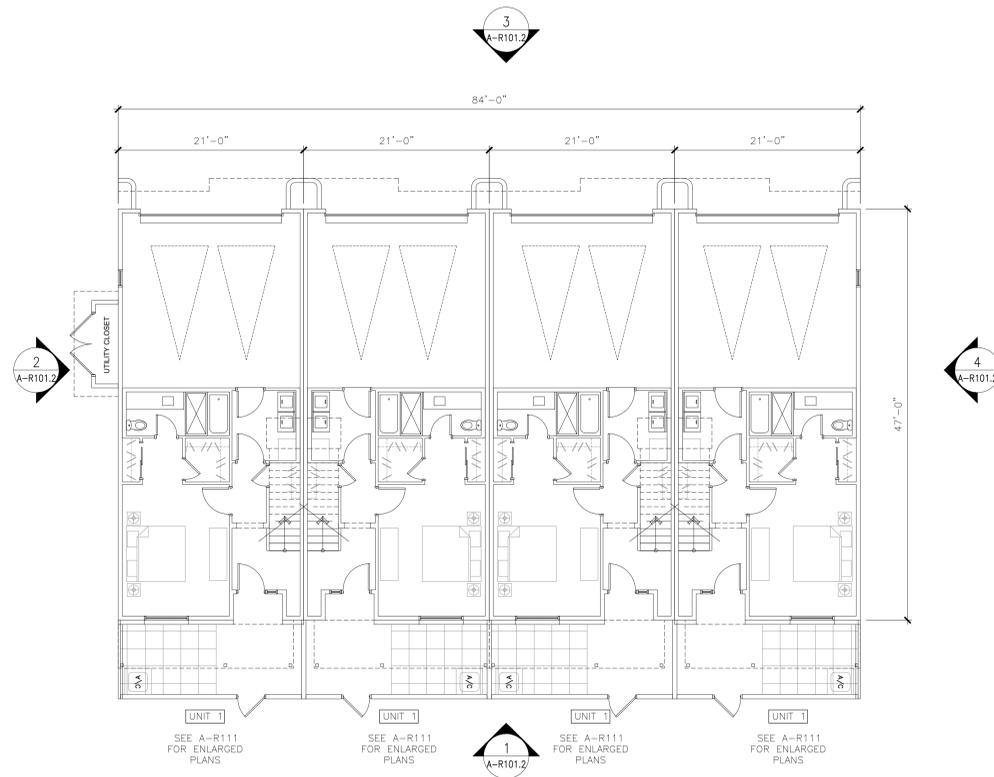
KEY MAP
 SCALE: 1/100



3 BUILDING R1 - ROOF PLAN
 SCALE: 1/16" = 1'



2 BUILDING R1 - 2ND FLOOR PLAN
 SCALE: 1/8" = 1'



1 BUILDING R1 - 1ST FLOOR PLAN
 SCALE: 1/8" = 1'



4 BUILDING R1 RIGHT ELEVATION
SCALE: 1/8" = 1'



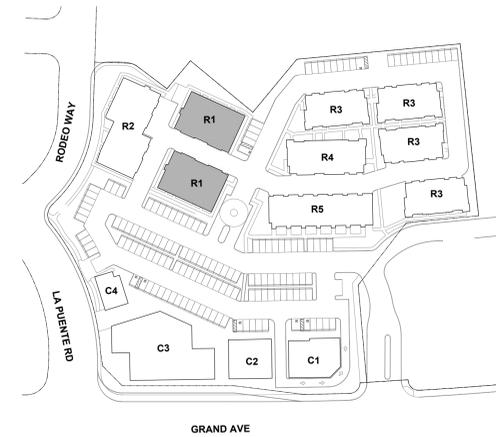
3 BUILDING R1 REAR ELEVATION
SCALE: 1/8" = 1'



2 BUILDING R1 LEFT ELEVATION
SCALE: 1/8" = 1'



1 BUILDING R1 FRONT ELEVATION
SCALE: 1/8" = 1'



KEY MAP

SCALE: 1:100

KEYNOTES	
EL101	STUCCO COLOR MATCH DUNN EDWARDS DEW383 COOL DECEMBER
EL102	STUCCO COLOR MATCH DUNN EDWARDS DE6206 DESERT SUEDE
EL103	STUCCO COLOR MATCH DUNN EDWARDS DE6366 SILVER SPOON
EL104	STUCCO COLOR MATCH DUNN EDWARDS DE6375 CASTLEROCK
EL105	SIDING ALLURA - SMOOTH LAP - GRANITE GRAY
EL106	SIDING ALLURA - SMOOTH LAP - RED ROCK FALLS
EL107	SIDING ALLURA - SMOOTH LAP - CARAMELIZED PEARS
EL108	STUCCO COLOR MATCH DUNN EDWARDS DET651 WAX POETIC
EL109	NOT USED
EL110	NOT USED
EL111	NOT USED
EL112	REVEAL
EL113	OVERHANG COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL114	RECESSED WINDOWS
EL115	UTILITY DOOR COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL116	ENTRY DOOR COLOR MATCH DUNN EDWARDS DE6366 SILVER SPOON
EL117	PATIO DOOR COLOR MATCH DUNN EDWARDS DEW383 COOL DECEMBER
EL118	NOT USED
EL119	LOW WALL COLOR MATCH DUNN EDWARDS DEW383 COOL DECEMBER
EL120	WOOD TRELLIS COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL121	WINDOW TRIM COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL122	GARAGE DOOR CLOPLAY CANYON RIDGE MODERN METAL ALUMINIUM INLAY
EL123	COLUMN COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL124	CABLE RAILING COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL125	ROOFING AEP DESIGN SPAN HP CORRUGATED METAL ROOFING



Project:
WALNUT MIXED USE

VACANT LAND AT SOUTHEAST CORNER OF
 LA PUENTE ROAD AND GRAND AVE
 APN: 8709-057-028
 WALNUT, CA 91789

Client:
AVATAR TECHNOLOGY, INC

339 S CHERRY LANE
 WALNUT, CA 91789

Stamp:

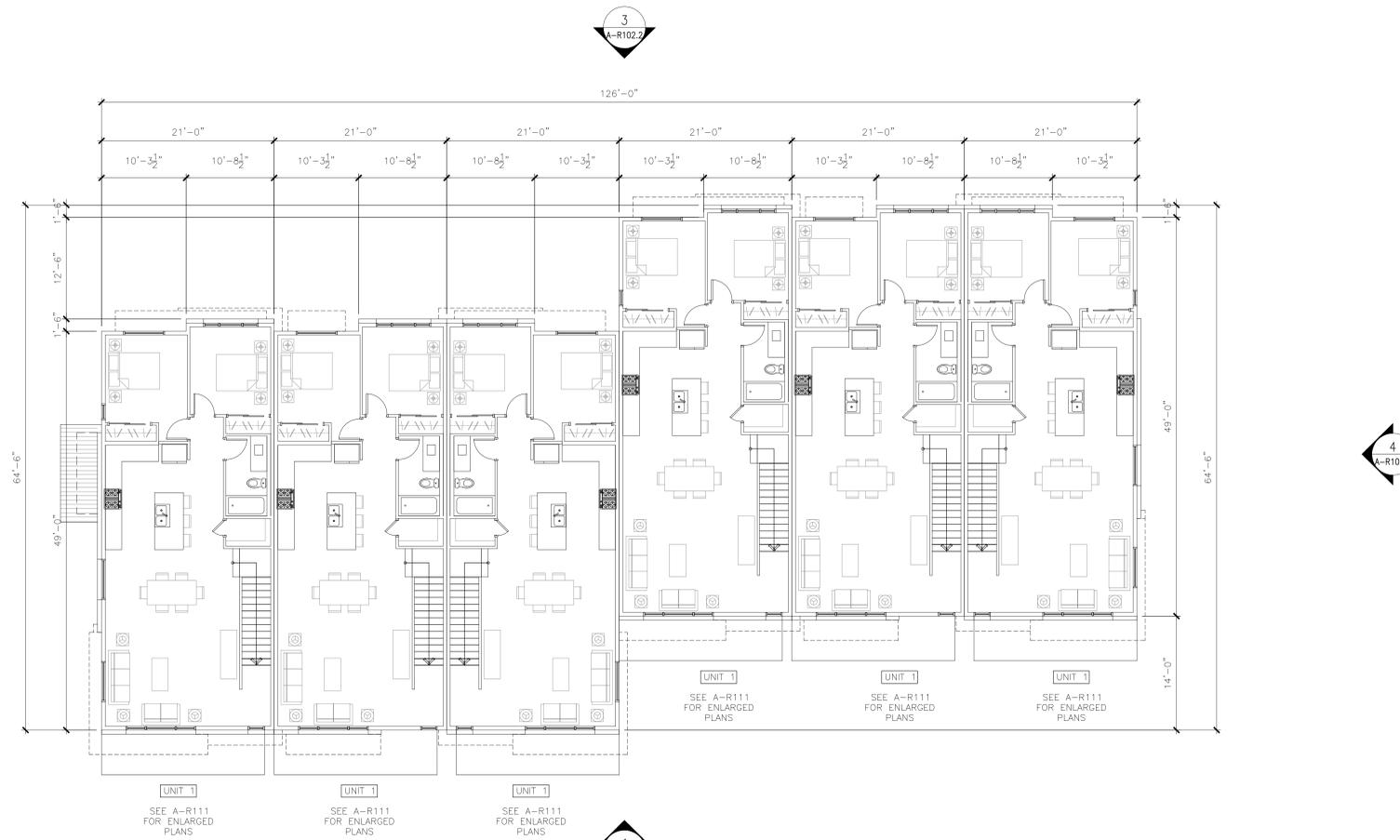


Drawing Title:
RESIDENTIAL BUILDING R2 FLOOR PLANS

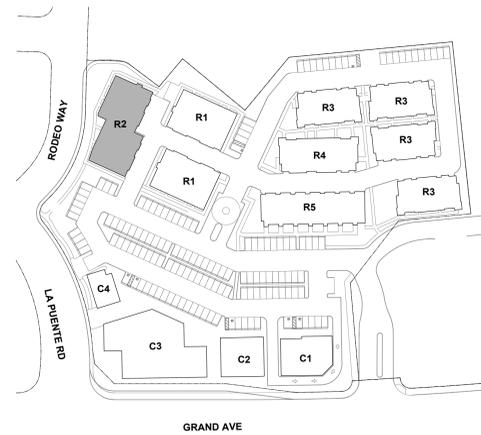
CDA Project No. 1906
 Date: MAY, 2021
 Phase: 4TH PLANNING
 Checked By: EC
 Drawn By: CDA
 Project No.:
 Reference:
 Revisions:

Drawing No.:

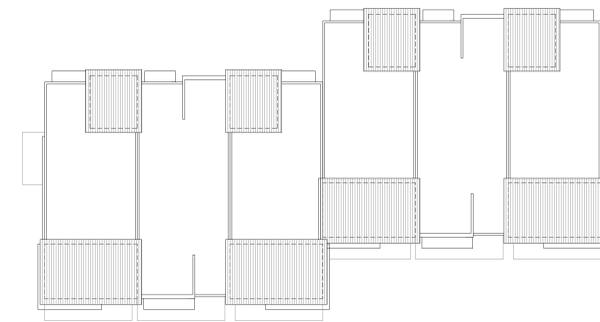
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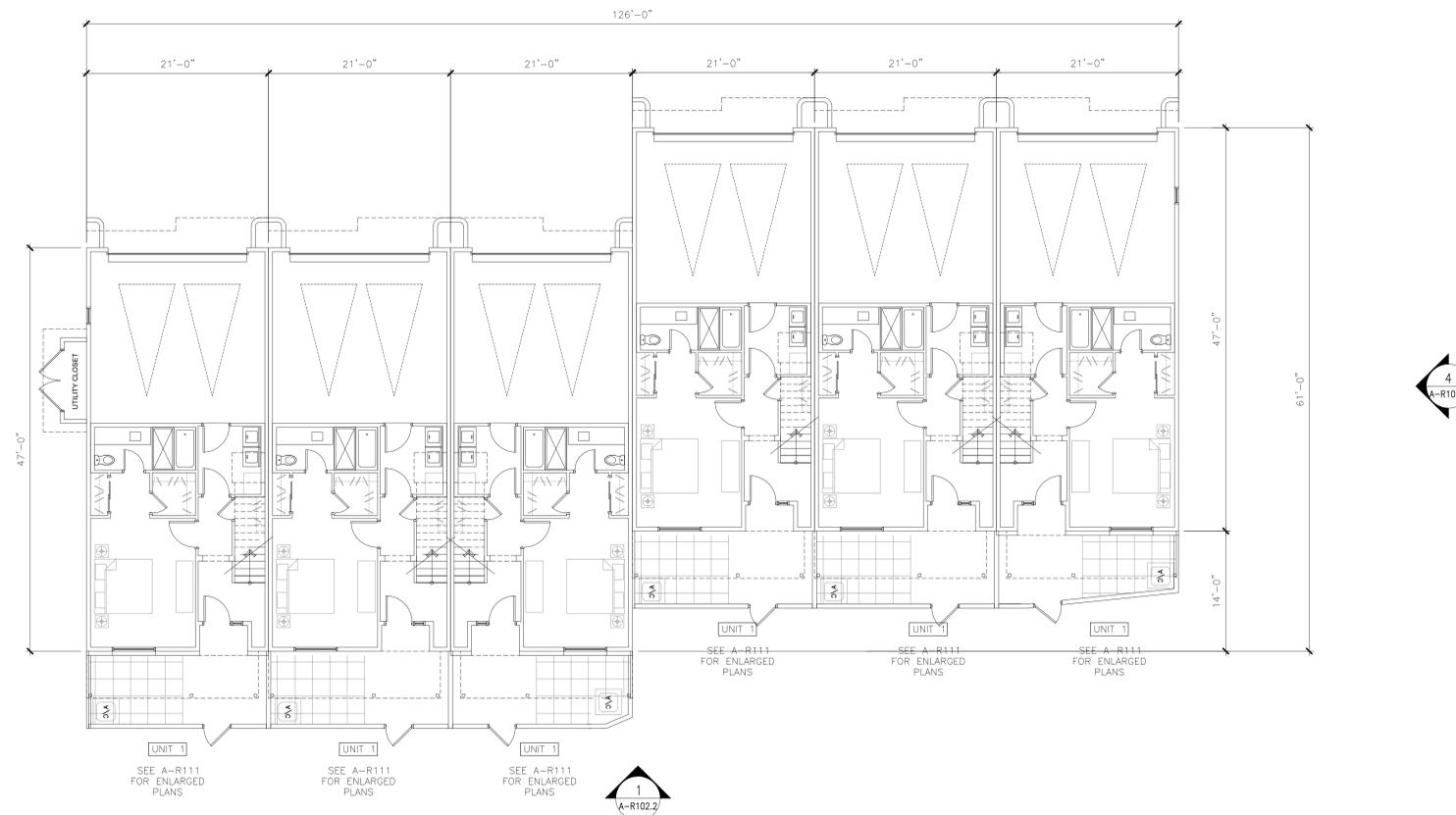
2 BUILDING R2 - 2ND FLOOR PLAN
 SCALE: 1/8" = 1'



KEY MAP
 SCALE: 1:100



3 BUILDING R2 - ROOF PLAN
 SCALE: 1/16" = 1'



1 BUILDING R2 - 1ST FLOOR PLAN
 SCALE: 1/8" = 1'

Project:
WALNUT MIXED USE

VACANT LAND AT SOUTHEAST CORNER OF
 LA PUENTE ROAD AND GRAND AVE
 APN: 8709-057-028

WALNUT, CA 91789

Client:
AVATAR TECHNOLOGY, INC

339 S CHERRY LANE
 WALNUT, CA 91789

Stamp:



Drawing Title:
RESIDENTIAL BUILDING R2 ELEVATIONS

CDA Project No. 1906
 Date: MAY, 2021
 Phase: 4TH PLANNING
 Checked By: EC
 Drawn By: CDA
 Project No.:
 Reference:
 Revisions:

Drawing No.:

A-R102.2



4 BUILDING R2 RIGHT ELEVATION
 SCALE: 1/8" = 1'



3 BUILDING R2 REAR ELEVATION
 SCALE: 1/8" = 1'



2 BUILDING R2 LEFT ELEVATION
 SCALE: 1/8" = 1'



1 BUILDING R2 FRONT ELEVATION
 SCALE: 1/8" = 1'



KEY MAP
 SCALE: 1:100

KEYNOTES	
EL101	STUCCO COLOR MATCH DUNN EDWARDS DEW383 COOL DECEMBER
EL102	STUCCO COLOR MATCH DUNN EDWARDS DE6206 DESERT SUEDE
EL103	STUCCO COLOR MATCH DUNN EDWARDS DE6366 SILVER SPOON
EL104	STUCCO COLOR MATCH DUNN EDWARDS DE6375 CASTLEROCK
EL105	SIDING ALLURA - SMOOTH LAP - GRANITE GRAY
EL106	SIDING ALLURA - SMOOTH LAP - RED ROCK FALLS
EL107	SIDING ALLURA - SMOOTH LAP - CAMELIZED PEARS
EL108	STUCCO COLOR MATCH DUNN EDWARDS DET651 WAX POETIC
EL109	NOT USED
EL110	NOT USED
EL111	NOT USED
EL112	REVEAL
EL113	OVERHANG COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL114	RECESSED WINDOWS
EL115	UTILITY DOOR COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL116	ENTRY DOOR COLOR MATCH DUNN EDWARDS DE6366 SILVER SPOON
EL117	PATIO DOOR COLOR MATCH DUNN EDWARDS DEW383 COOL DECEMBER
EL118	NOT USED
EL119	LOW WALL COLOR MATCH DUNN EDWARDS DEW383 COOL DECEMBER
EL120	WOOD TRELLIS COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL121	WINDOW TRIM COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL122	GARAGE DOOR CLOPLAY CANYON RIDGE MODERN METAL ALUMINIUM INLAY
EL123	COLUMN COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL124	CABLE RAILING COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL125	ROOFING AEP DESIGN SPAN HP CORRUGATED METAL ROOFING

Project:
WALNUT MIXED USE

VACANT LAND AT SOUTHEAST CORNER OF
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 APN: 8709-057-028
 WALNUT, CA 91789

Client:
AVATAR TECHNOLOGY, INC

339 S CHERRY LANE
 WALNUT, CA 91789

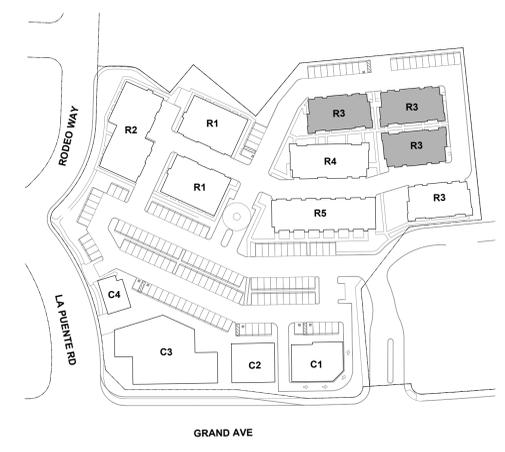
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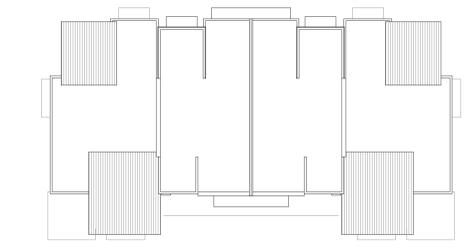
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RESIDENTIAL BUILDING R3 FLOOR PLANS

CDA Project No. 1906
 Date: MAY, 2021
 Phase: 4TH PLANNING
 Checked By: EC
 Drawn By: CDA
 Project No.:
 Reference:
 Revisions:

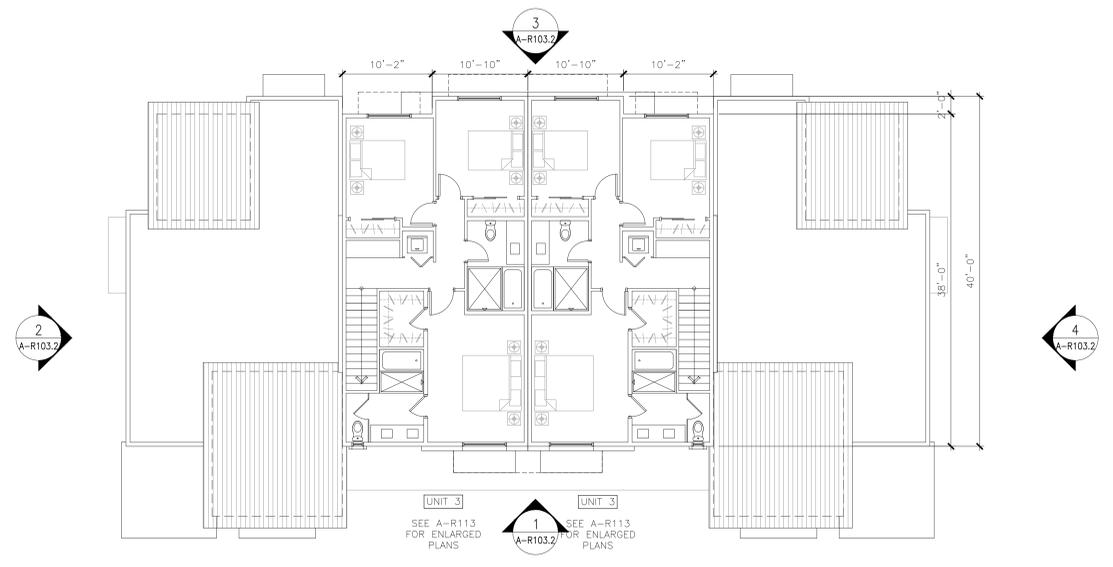
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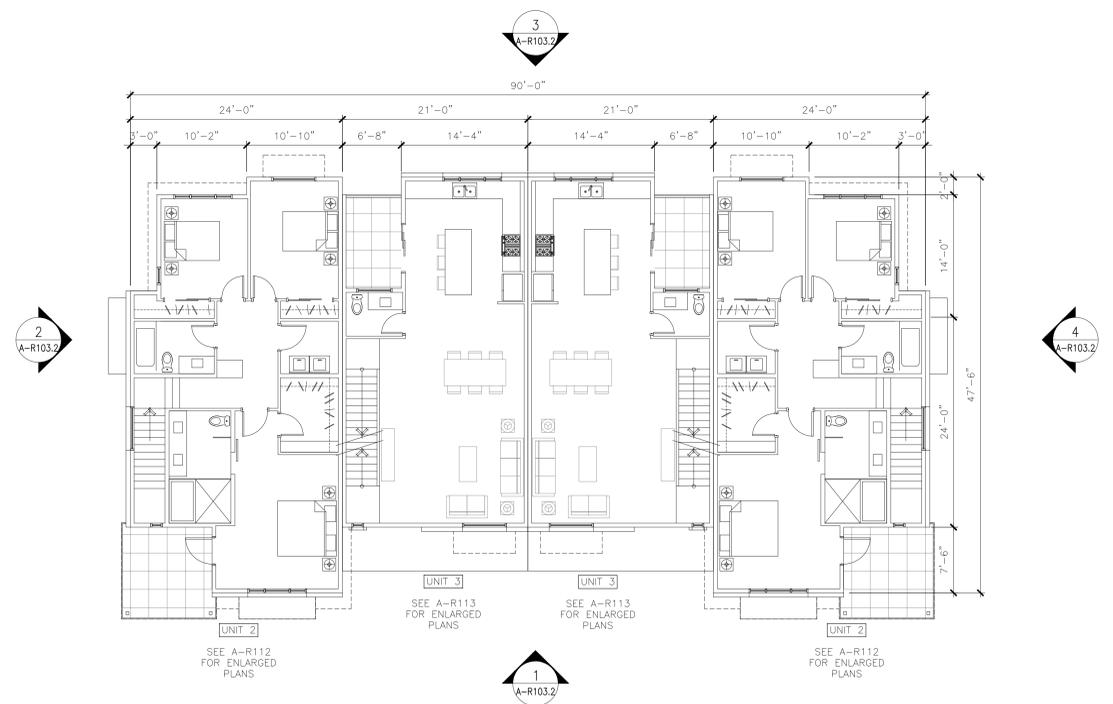
KEY MAP
 SCALE: 1:100



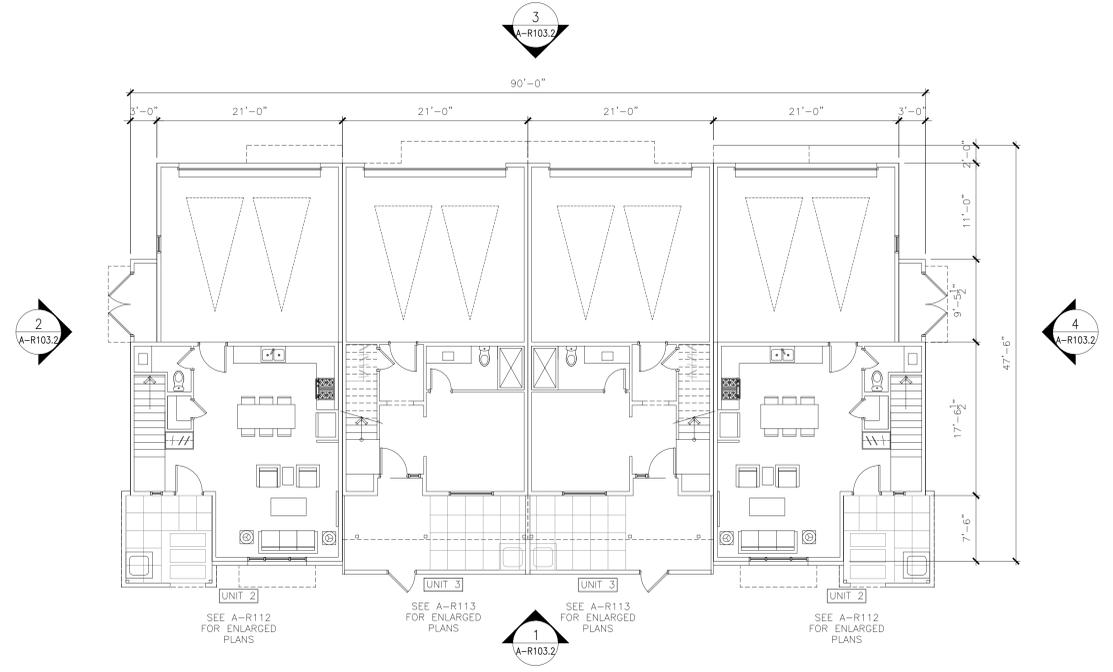
BUILDING R3 - ROOF PLAN
 SCALE: 1/16" = 1'



BUILDING R3 - 3RD FLOOR PLAN
 SCALE: 1/8" = 1'



BUILDING R3 - 2ND FLOOR PLAN
 SCALE: 1/8" = 1'



BUILDING R3 - 1ST FLOOR PLAN
 SCALE: 1/8" = 1'



4 BUILDING R3 RIGHT ELEVATION
SCALE: 1/8" = 1'



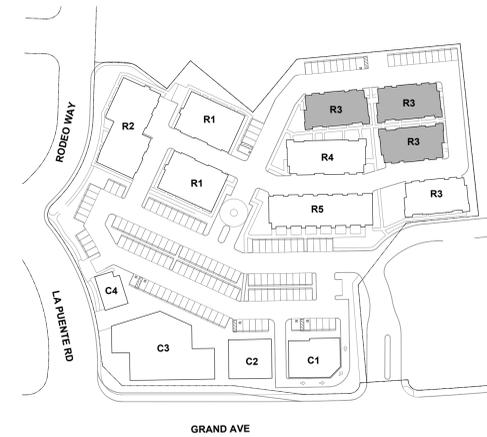
3 BUILDING R3 REAR ELEVATION
SCALE: 1/8" = 1'



2 BUILDING R3 LEFT ELEVATION
SCALE: 1/8" = 1'



1 BUILDING R3 FRONT ELEVATION
SCALE: 1/8" = 1'



KEY MAP
SCALE: 1:100

KEYNOTES	
EL101	STUCCO COLOR MATCH DUNN EDWARDS DEW383 COOL DECEMBER
EL102	STUCCO COLOR MATCH DUNN EDWARDS DE6206 DESERT SUEDE
EL103	STUCCO COLOR MATCH DUNN EDWARDS DE6366 SILVER SPOON
EL104	STUCCO COLOR MATCH DUNN EDWARDS DE6375 CASTLEROCK
EL105	SIDING ALLURA - SMOOTH LAP - GRANITE GRAY
EL106	SIDING ALLURA - SMOOTH LAP - RED ROCK FALLS
EL107	SIDING ALLURA - SMOOTH LAP - CARAMELIZED PEARS
EL108	STUCCO COLOR MATCH DUNN EDWARDS DET651 WAX POETIC
EL109	NOT USED
EL110	NOT USED
EL111	NOT USED
EL112	REVEAL
EL113	OVERHANG COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL114	RECESSED WINDOWS
EL115	UTILITY DOOR COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL116	ENTRY DOOR COLOR MATCH DUNN EDWARDS DE6366 SILVER SPOON
EL117	PATIO DOOR COLOR MATCH DUNN EDWARDS DEW383 COOL DECEMBER
EL118	NOT USED
EL119	LOW WALL COLOR MATCH DUNN EDWARDS DEW383 COOL DECEMBER
EL120	WOOD TRELLIS COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL121	WINDOW TRIM COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL122	GARAGE DOOR CLOPLAY CANYON RIDGE MODERN METAL ALUMINIUM INLAY
EL123	COLUMN COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL124	CABLE RAILING COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL125	ROOFING AEP DESIGN SPAN HP CORRUGATED METAL ROOFING



Project:
WALNUT MIXED USE

VACANT LAND AT SOUTHEAST CORNER OF
 LA PUENTE ROAD AND GRAND AVE
 APN: 8709-057-028
 WALNUT, CA 91789

Client:
AVATAR TECHNOLOGY, INC

339 S CHERRY LANE
 WALNUT, CA 91789

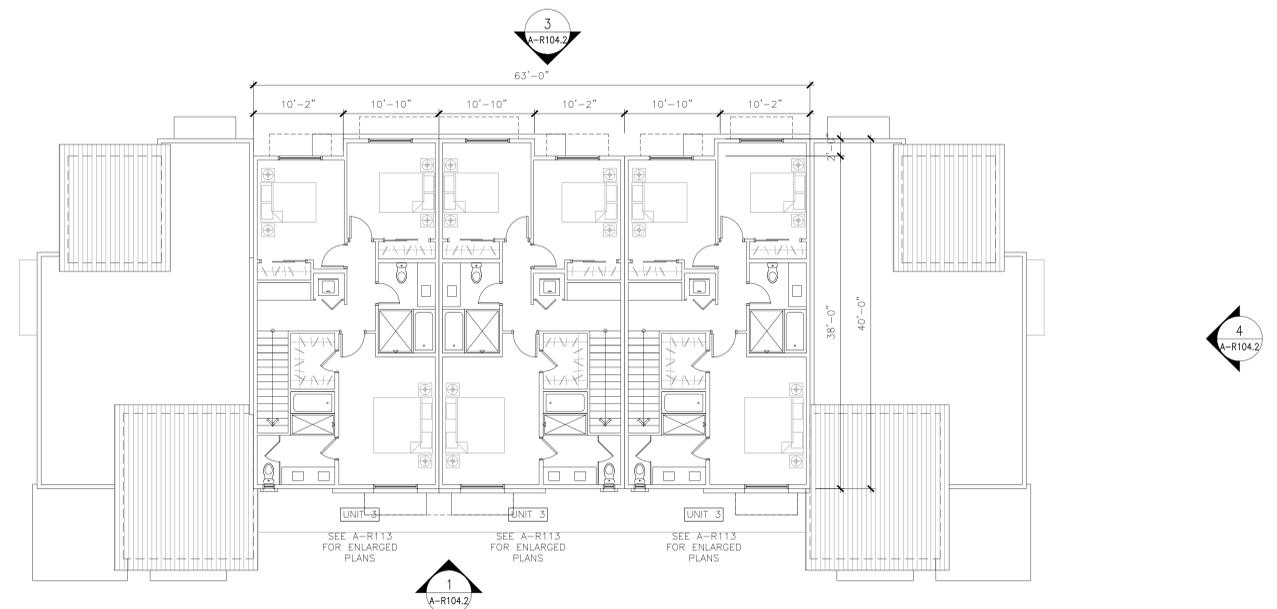
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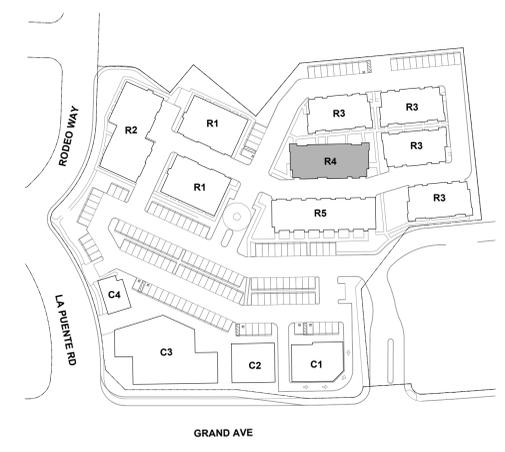
Drawing Title:
RESIDENTIAL BUILDING R4 FLOORPLANS

CDA Project No. 1906
 Date: MAY, 2021
 Phase: 4TH PLANNING
 Checked By: EC
 Drawn By: CDA
 Project No.:
 Reference:
 Revisions:

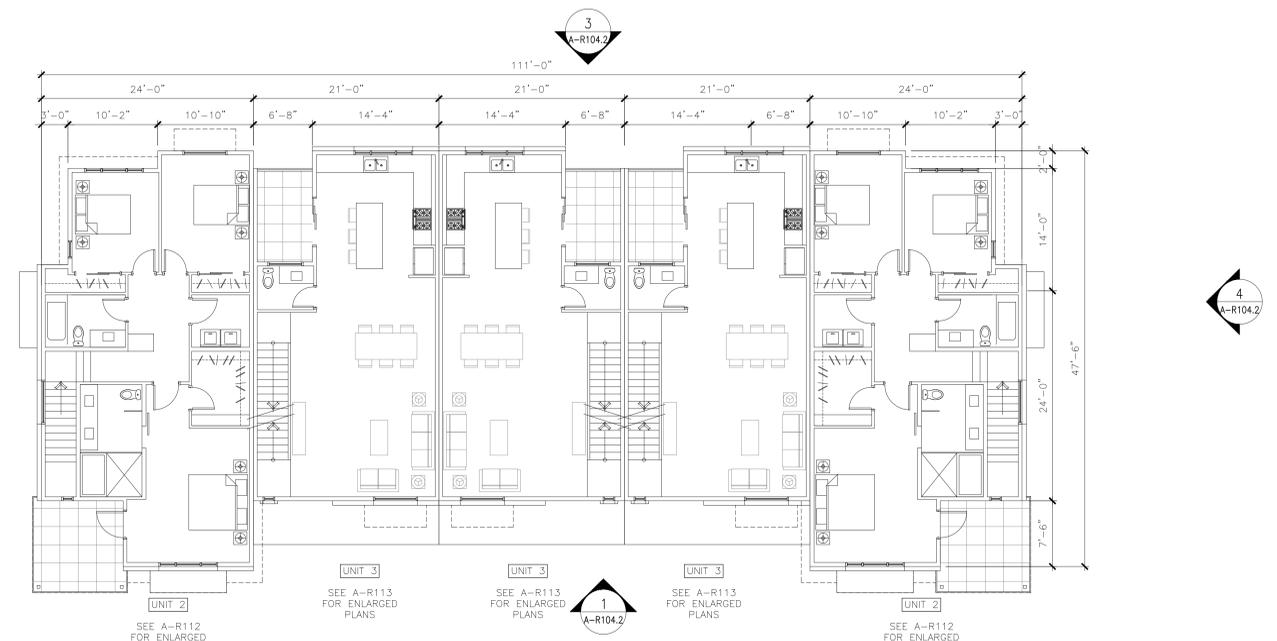
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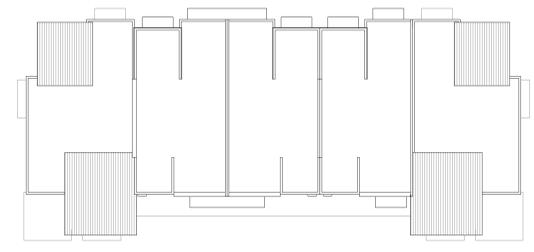
3 BUILDING 4 - 3RD FLOOR PLAN
 SCALE: 1/8" = 1'



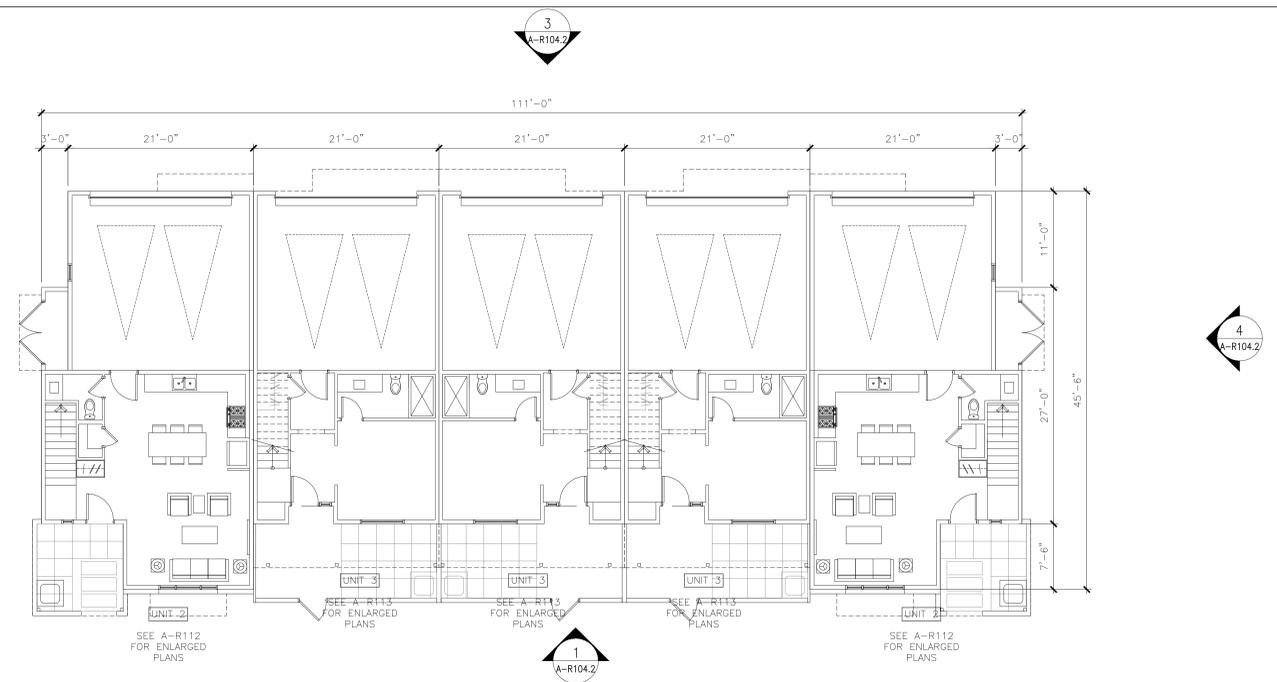
KEY MAP
 SCALE: 1/100



2 BUILDING 4 - 2ND FLOOR PLAN
 SCALE: 1/8" = 1'



4 BUILDING R4 - ROOF PLAN
 SCALE: 1/16" = 1'



1 BUILDING 4 - 1ST FLOOR PLAN
 SCALE: 1/8" = 1'

Project:
WALNUT MIXED USE

VACANT LAND AT SOUTHEAST CORNER OF
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 APN: 8709-057-028

WALNUT, CA 91789

Client:
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339 S CHERY LANE
 WALNUT, CA 91789

Stamp:

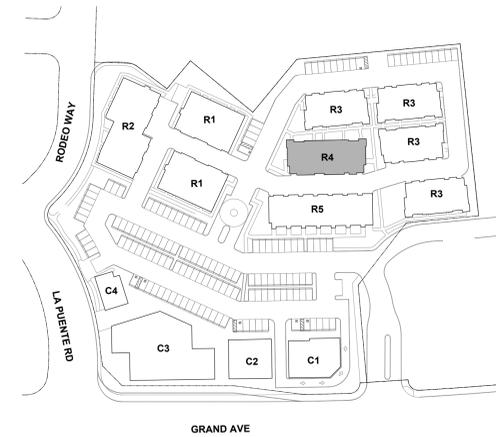


Drawing Title:
RESIDENTIAL BUILDING R4 ELEVATIONS

CDA Project No. 1906
 Date: MAY, 2021
 Phase: 4TH PLANNING
 Checked By: EC
 Drawn By: CDA
 Project No.:
 Reference:
 Revisions:

Drawing No.:

A-R104.2



KEY MAP

SCALE: 1:100



KEYNOTES	
EL101	STUCCO COLOR MATCH DUNN EDWARDS DEW383 COOL DECEMBER
EL102	STUCCO COLOR MATCH DUNN EDWARDS DE6206 DESERT SUEDE
EL103	STUCCO COLOR MATCH DUNN EDWARDS DE6366 SILVER SPOON
EL104	STUCCO COLOR MATCH DUNN EDWARDS DE6375 CASTLEROCK
EL105	SIDING ALLURA - SMOOTH LAP - GRANITE GRAY
EL106	SIDING ALLURA - SMOOTH LAP - RED ROCK FALLS
EL107	SIDING ALLURA - SMOOTH LAP - CARAMELIZED PEARS
EL108	STUCCO COLOR MATCH DUNN EDWARDS DET651 WAX POETIC
EL109	NOT USED
EL110	NOT USED
EL111	NOT USED
EL112	REVEAL
EL113	OVERHANG COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL114	RECESSED WINDOWS
EL115	UTILITY DOOR COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL116	ENTRY DOOR COLOR MATCH DUNN EDWARDS DE6366 SILVER SPOON
EL117	PATIO DOOR COLOR MATCH DUNN EDWARDS DEW383 COOL DECEMBER
EL118	NOT USED
EL119	LOW WALL COLOR MATCH DUNN EDWARDS DEW383 COOL DECEMBER
EL120	WOOD TRELLIS COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL121	WINDOW TRIM COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL122	GARAGE DOOR CLOPLAY CANYON RIDGE MODERN METAL ALUMINIUM INLAY
EL123	COLUMN COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL124	CABLE RAILING COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL125	ROOFING AEP DESIGN SPAN HP CORRUGATED METAL ROOFING



4 BUILDING R4 RIGHT ELEVATION

SCALE: 1/8" = 1'



3 BUILDING R4 REAR ELEVATION

SCALE: 1/8" = 1'



2 BUILDING R4 LEFT ELEVATION

SCALE: 1/8" = 1'



1 BUILDING R4 FRONT ELEVATION

SCALE: 1/8" = 1'

Project:
WALNUT MIXED USE

VACANT LAND AT SOUTHEAST CORNER OF
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 APN: 8709-057-028

WALNUT, CA 91789

Client:
AVATAR TECHNOLOGY, INC

339 S CHERRY LANE
 WALNUT, CA 91789

Stamp:



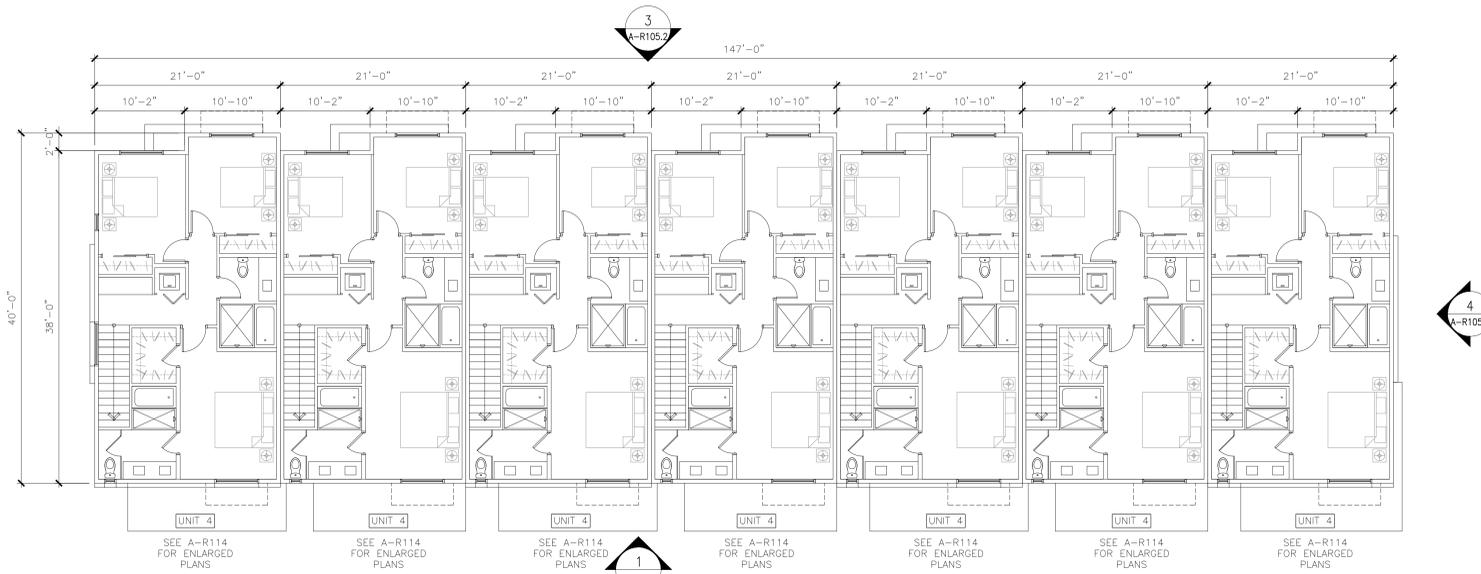
Drawing Title:

RESIDENTIAL BUILDING R5 FLOORPLANS

CDA Project No. 1906
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 Phase: 4TH PLANNING
 Checked By:
 Drawn By: CDA EC
 Project No.:
 Reference:
 Revisions:

Drawing No.:

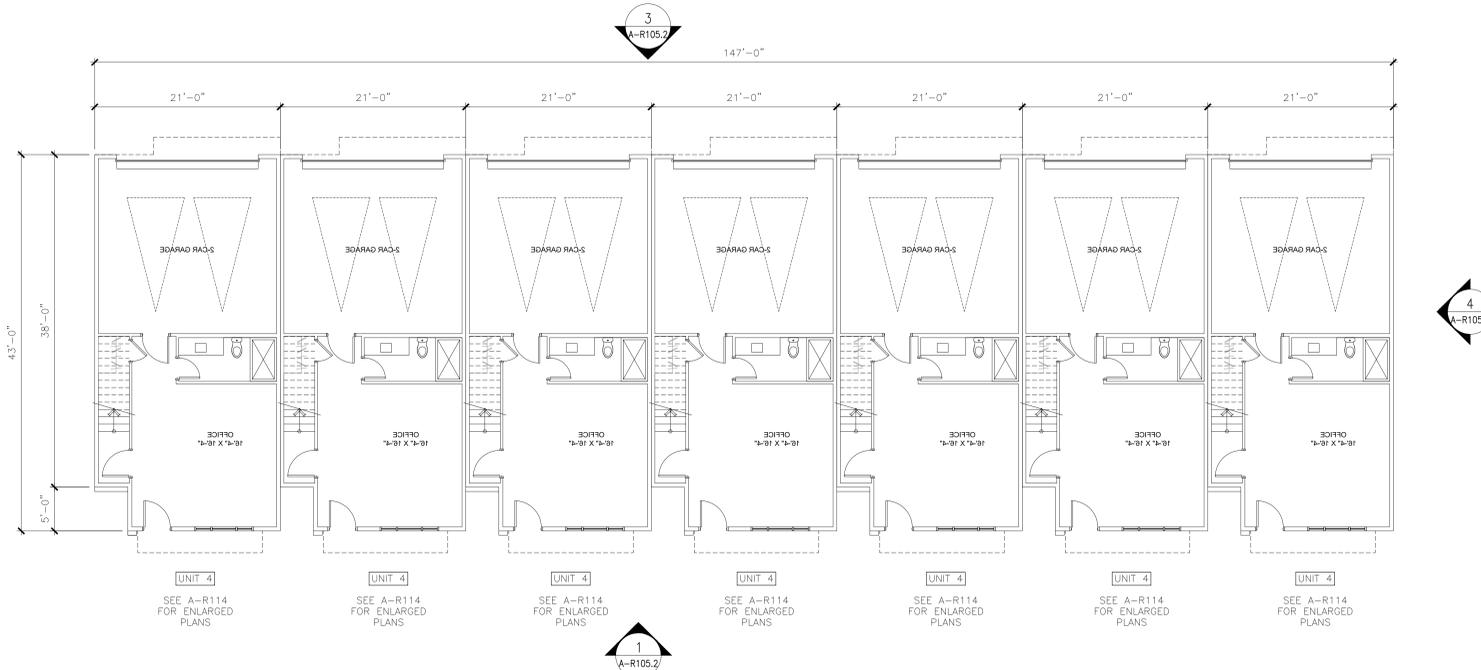
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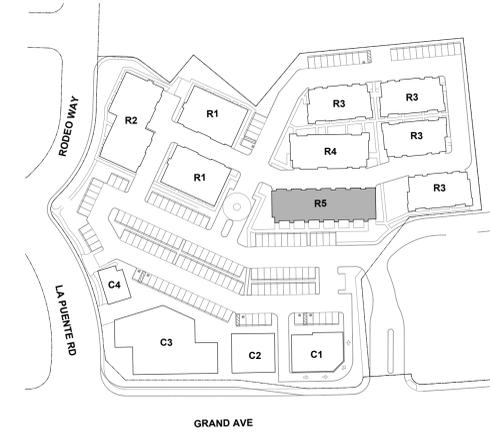
3 BUILDING 5 - 3RD FLOOR PLAN
 SCALE: 1/8" = 1'



2 BUILDING 5 - 2ND FLOOR PLAN
 SCALE: 1/8" = 1'

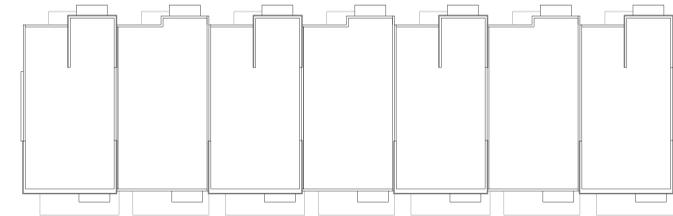


1 BUILDING 5 - 1ST FLOOR PLAN
 SCALE: 1/8" = 1'



KEY MAP

SCALE: 1:100



4 BUILDING R5 - ROOF PLAN
 SCALE: 1/16" = 1'



4 BUILDING R5 RIGHT ELEVATION
SCALE: 1/8" = 1'



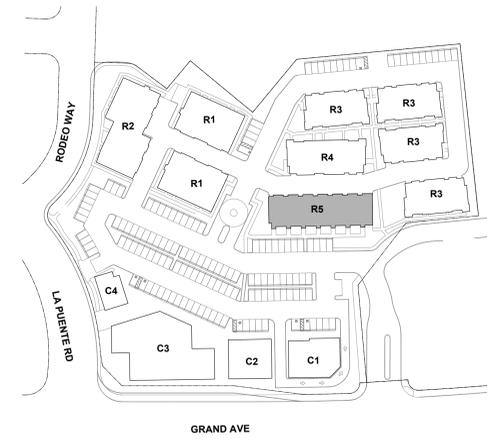
3 BUILDING R5 REAR ELEVATION
SCALE: 1/8" = 1'



2 BUILDING R5 LEFT ELEVATION
SCALE: 1/8" = 1'



1 BUILDING R5 FRONT ELEVATION
SCALE: 1/8" = 1'



KEY MAP
SCALE: 1:100

KEYNOTES	
EL101	STUCCO COLOR MATCH DUNN EDWARDS DEW383 COOL DECEMBER
EL102	STUCCO COLOR MATCH DUNN EDWARDS DE6206 DESERT SUEDE
EL103	STUCCO COLOR MATCH DUNN EDWARDS DE6366 SILVER SPOON
EL104	STUCCO COLOR MATCH DUNN EDWARDS DE6375 CASTLEROCK
EL105	SIDING ALLURA - SMOOTH LAP - GRANITE GRAY
EL106	SIDING ALLURA - SMOOTH LAP - RED ROCK FALLS
EL107	SIDING ALLURA - SMOOTH LAP - Caramelized Pears
EL108	STUCCO COLOR MATCH DUNN EDWARDS DET651 WAX POETIC
EL109	NOT USED
EL110	NOT USED
EL111	NOT USED
EL112	REVEAL
EL113	OVERHANG COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL114	RECESSED WINDOWS
EL115	UTILITY DOOR COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL116	ENTRY DOOR COLOR MATCH DUNN EDWARDS DE6366 SILVER SPOON
EL117	PATIO DOOR COLOR MATCH DUNN EDWARDS DEW383 COOL DECEMBER
EL118	NOT USED
EL119	LOW WALL COLOR MATCH DUNN EDWARDS DEW383 COOL DECEMBER
EL120	WOOD TRELLIS COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL121	WINDOW TRIM COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL122	GARAGE DOOR CLOPLAY CANYON RIDGE MODERN METAL ALUMINIUM INLAY
EL123	COLUMN COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL124	CABLE RAILING COLOR MATCH DUNN EDWARDS DE6384 IRON FIXTURE
EL125	ROOFING AEP DESIGN SPAN HP CORRUGATED METAL ROOFING



Project:
WALNUT MIXED USE

VACANT LAND AT SOUTHEAST CORNER OF
 LA PUENTE ROAD AND GRAND AVE
 APN: 8709-057-028
 WALNUT, CA 91789

Client:
AVATAR TECHNOLOGY, INC

339 S CHERRY LANE
 WALNUT, CA 91789

Stamp:

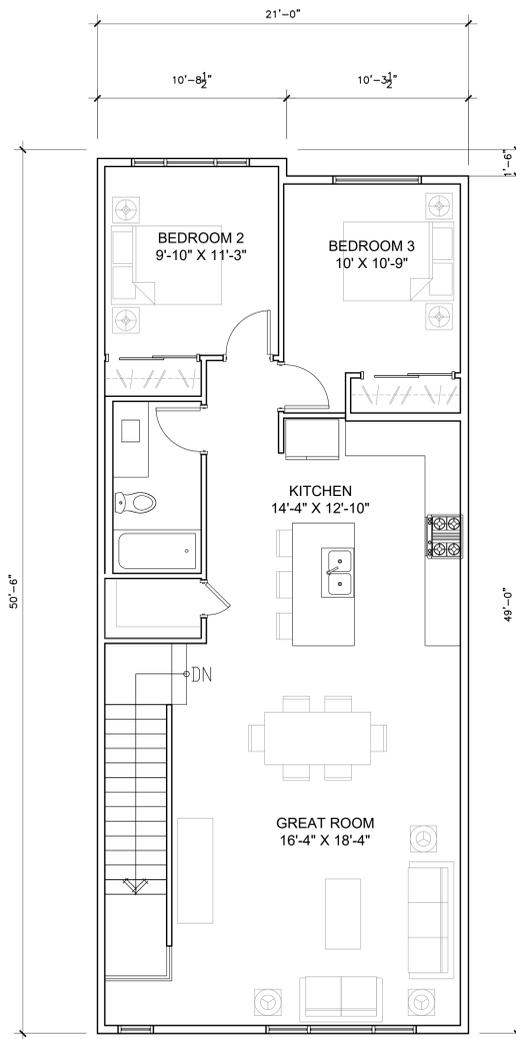


Drawing Title:
UNIT 1 FLOOR PLANS

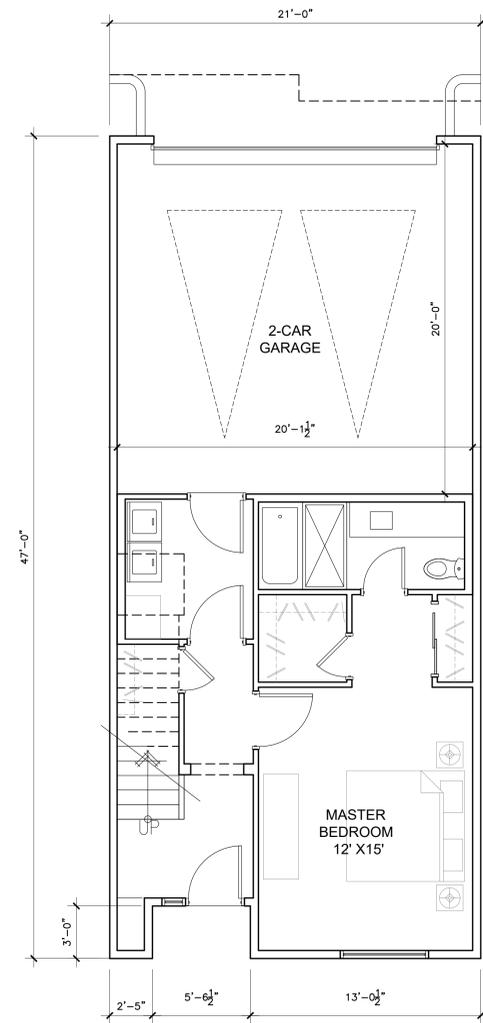
CDA Project No. 1906
 Date: MAY, 2021
 Phase: 4TH PLANNING
 Checked By: EC
 Drawn By: CDA
 Project No.:
 Reference:
 Revisions:

Drawing No.:

A-R111



2 UNIT 1 - 2ND FLOOR PLAN
 SCALE: 1/4" = 1'



1 UNIT 1 - 1ST FLOOR PLAN
 SCALE: 1/4" = 1'

Project:
WALNUT MIXED USE

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 LA PUENTE ROAD AND GRAND AVE
 APN: 8709-057-028
 WALNUT, CA 91789

Client:
AVATAR TECHNOLOGY, INC

339 S CHERY LANE
 WALNUT, CA 91789

Stamp:

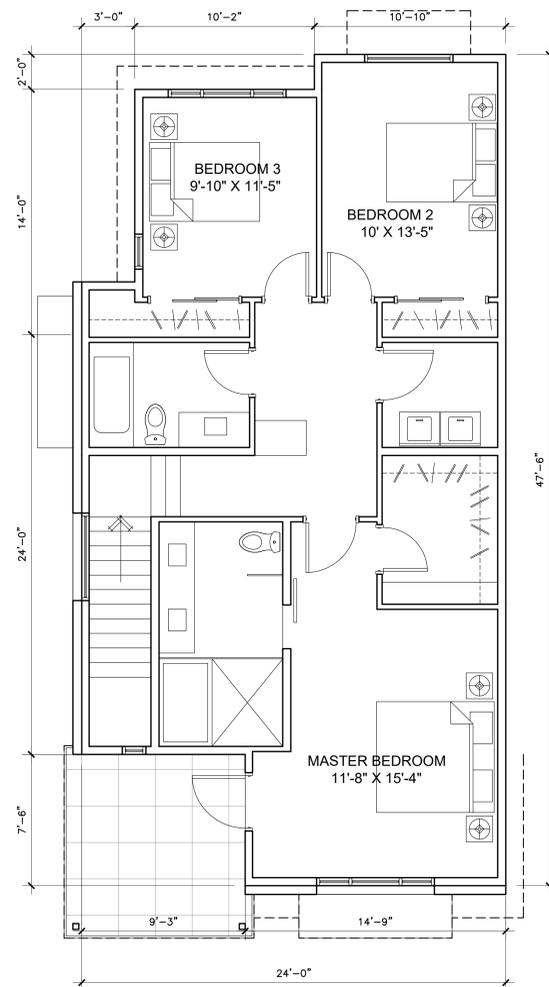


Drawing Title:
UNIT 2 FLOOR PLANS

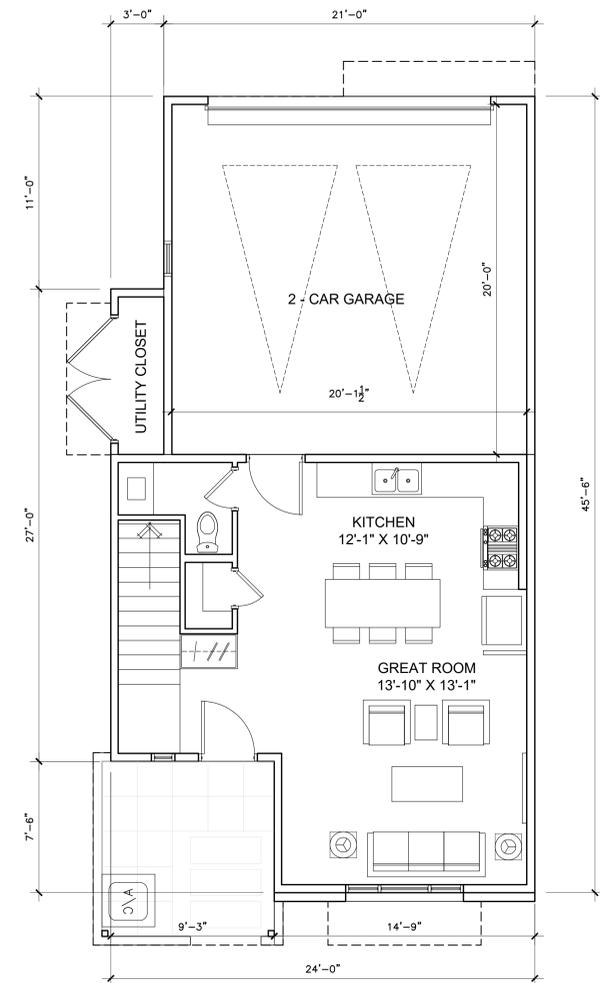
CDA Project No. 1906
 Date: MAY, 2021
 Phase: 4TH PLANNING
 Checked By: EC
 Drawn By: CDA
 Project No.:
 Reference:
 Revisions:

Drawing No.:

A-R112



2 UNIT 2 - 2ND FLOOR PLAN
 SCALE: 1/4" = 1'



1 UNIT 2 - 1ST FLOOR PLAN
 SCALE: 1/4" = 1'

Project:
WALNUT MIXED USE

VACANT LAND AT SOUTHEAST CORNER OF
 LA PUENTE ROAD AND GRAND AVE
 APN: 8709-057-028
 WALNUT, CA 91789

Client:
AVATAR TECHNOLOGY, INC

339 S CHERY LANE
 WALNUT, CA 91789

Stamp:

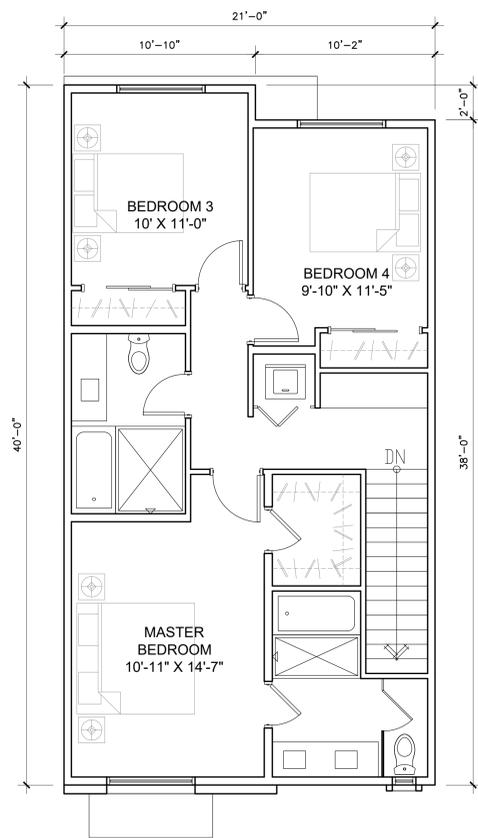


Drawing Title:
UNIT 3 FLOOR PLANS

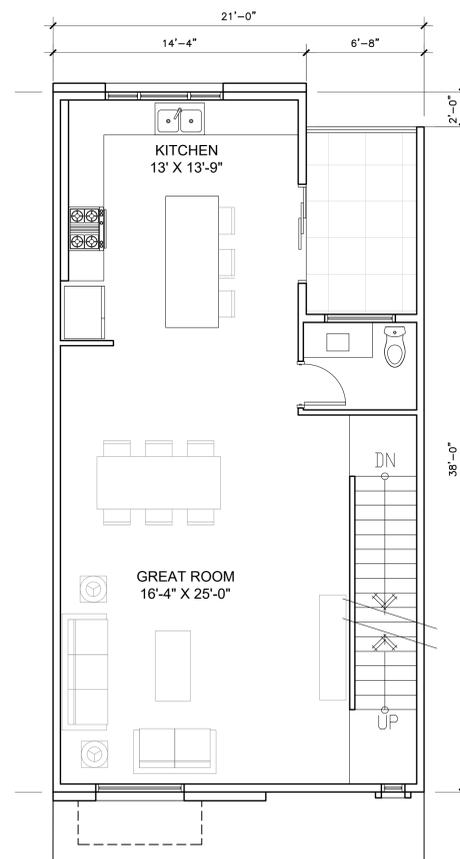
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 Date: MAY, 2021
 Phase: 4TH PLANNING
 Checked By: EC
 Drawn By: CDA
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 Reference:
 Revisions:

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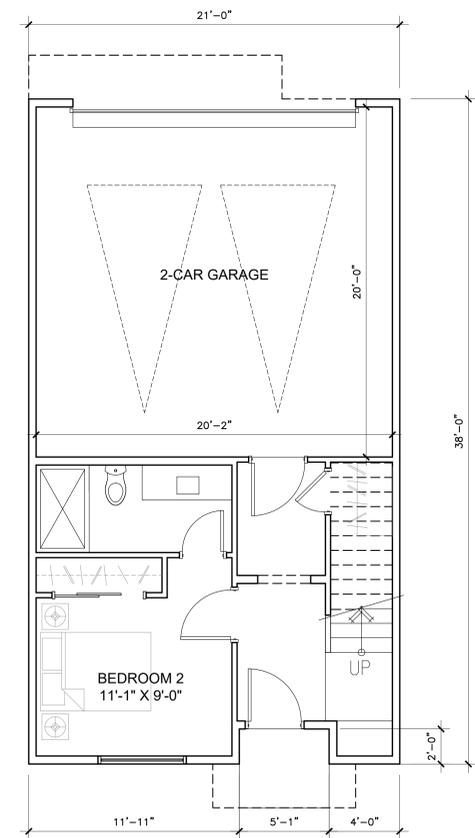
A-R113



2 UNIT 3 - 3RD FLOOR PLAN
 SCALE: 1/4" = 1'



2 UNIT 3 - 2ND FLOOR PLAN
 SCALE: 1/4" = 1'



1 UNIT 3 - 1ST FLOOR PLAN
 SCALE: 1/4" = 1'

Project:
WALNUT MIXED USE

VACANT LAND AT SOUTHEAST CORNER OF
 LA PUENTE ROAD AND GRAND AVE
 APN: 8709-057-028
 WALNUT, CA 91789

Client:
AVATAR TECHNOLOGY, INC

339 S CHERY LANE
 WALNUT, CA 91789

Stamp:

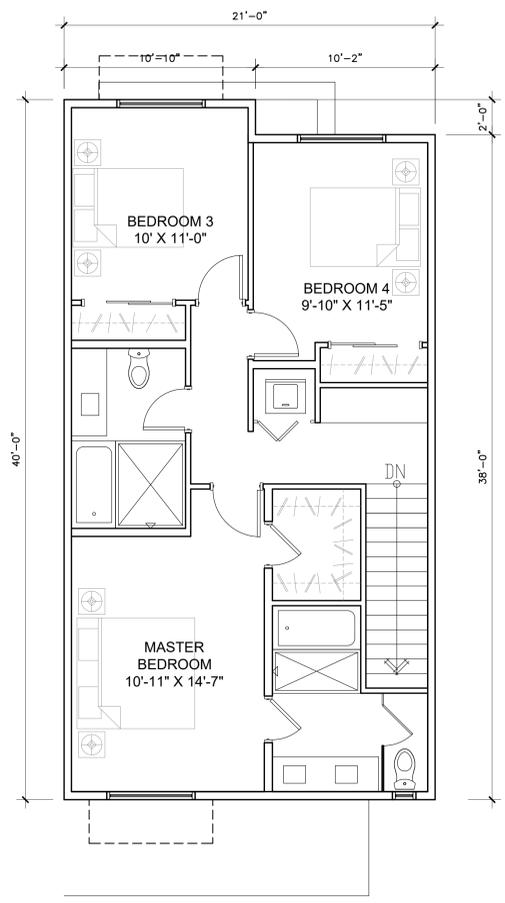


Drawing Title:
UNIT 4 FLOOR PLANS

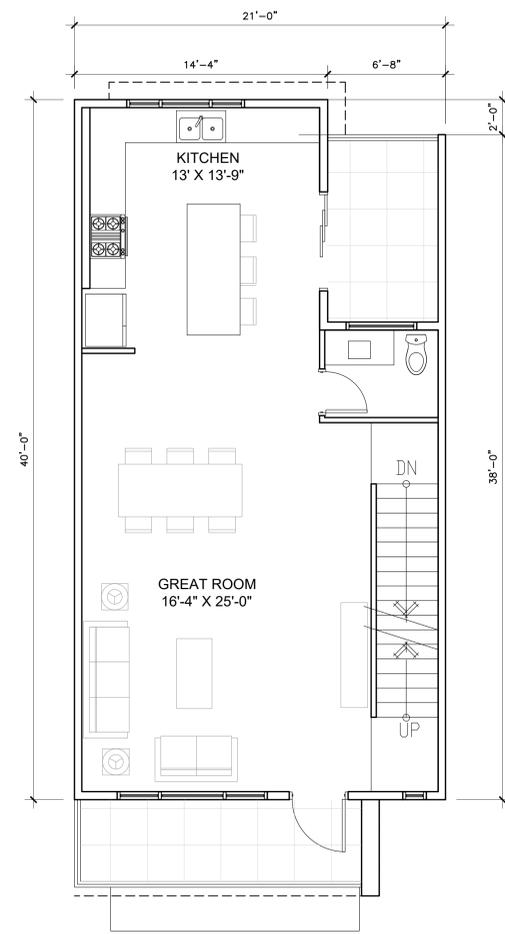
CDA Project No. 1906
 Date: MAY, 2021
 Phase: 4TH PLANNING
 Checked By: EC
 Drawn By: CDA
 Project No.:
 Reference:
 Revisions:

Drawing No.:

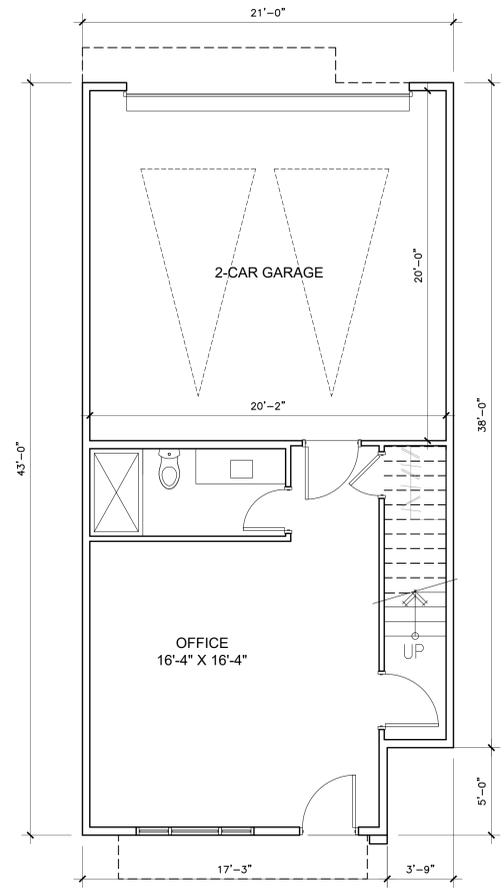
A-R114



2 UNIT 4 - 3RD FLOOR PLAN
 SCALE: 1/4" = 1'



2 UNIT 4 - 2ND FLOOR PLAN
 SCALE: 1/4" = 1'



1 UNIT 4 - 1ST FLOOR PLAN
 SCALE: 1/4" = 1'