

## EXHIBIT A

### TENTATIVE TRACT MAP 72798 CONDITIONS OF APPROVAL (COA) January 28, 2026 BROOKSIDE PROJECT

1. TTM No. 72798 shall be completed in substantial conformance with the Map attached to this Exhibit A, dated and received on January 6, 2023, and those COA(s) required to be performed prior to the filing of the final map, subject to Section 6.04 of the Walnut Zoning Ordinance. Approval is for the subdivision of 25.84 – acres of land into twenty – seven (27) residential lots, six (6) lettered lots, two (2) public streets (Street “A” and “B”), and related site and infrastructure improvements. Any modification of TTM No. 72798 shall be made pursuant to the Subdivision Map Act and the Walnut Municipal Code (WMC).

Only those COA(s) expressly stating that performance is required prior to filing of the final map, are required to be performed before the filing and approval of final map. For those COA(s) that require or allow subjective individual discretion (i.e. satisfaction), that discretion is limited to applying objective standards, pursuant to Senate Bill (SB) 330 and Housing Accountability Act of 2019.

2. Approval of TTM No. 72798 shall not take effect for any purpose until the Applicant/Developer has filed with the City of Walnut an affidavit stating that he/she is aware of and accepts all COAs for the TTM set forth in Resolution No. 26 – 06.
3. The Applicant/Developer shall comply with all federal, state, and local laws relative to the approved use, including the requirements of Community Development, Building & Safety Division, Los Angeles County Fire Department, Los Angeles County Sherriff’s Department, and the Los Angeles County Health Department.
4. Approval of TTM No. 72798 shall expire twenty – four (24) months after it becomes effective, in conjunction with COA #2 listed above, unless:
  - a) A time extension is provided by or has been granted in accordance with the WMC and/or the Subdivision Map Act; or
  - b) State legislation has automatically extended the term of the TTM; or
  - c) A Final Tract Map has been filed by the Applicant/Developer with the City.
5. With respect to related project approvals and permits, the approval of TTM No. 72798 shall not waive compliance with applicable sections of the WMC to the extent such sections are applicable to the project.
6. Prior to the construction any home at the site, the Applicant/Developer shall obtain all necessary permits and authorizations for that home, which include, but are not limited to, submittal of site plans, exterior architectural designs, and landscape plans. Site Plan and Architectural Review shall be conducted by the Planning Commission and review of landscape plans shall be conducted by the City’s third – party landscape reviewer. Architectural design(s) shall be in compliance with

the WMC and Walnut General Plan (WGP), which include high quality architectural design(s), materials, color(s), and appropriate size and massing. These reviews shall apply objective standards, consistent with the Housing Accountability Act of 2019.

7. A Final Tract Map prepared by or under the direction of a Registered Civil Engineer or Licensed Land Surveyor must be filed with the City Engineer, certified by the City Engineer, and approved by the City Council prior to being delivered to the County Recorder for recording.
8. Prior to approval of the Final Tract Map, the Applicant/Developer shall include the ten (10') wide trail easement dedication on the Final Map, or provide sufficient documentation satisfactory to the City Engineer.
9. Prior to issuance of final grading permits, the Developer shall prepare and submit for review and approval by the Director of Building and Safety, a design-phase geotechnical report which shall consider the preliminary Geotechnical Recommendations and revise as necessary for site preparation and construction in a design-level Geotechnical Recommendations report. The report shall, at a minimum, address remedial and design grading, concrete foundation system, and building foundations. The recommendations of the design – phase geotechnical report shall be implemented during site grading and construction.
10. Street improvements (curb and gutter, pavement, drive approaches, sidewalk, bridge), street lights, striping, street name signs, and signage within the development shall be installed as required by the WMC and in conformance with the City's rural street standards.
11. All work adjacent to or within the public right – of – way shall be in accordance with applicable standards of the City of Walnut; i.e. Standard Specifications for Public Works Construction (Green Book) and the California Manual of Uniform Traffic Control Devices (CA MUTCD). Construction equipment ingress and egress shall be controlled by a plan that is consistent with City standards, subject to review and approval by the City Engineer.
12. (**Modified/added as of the 01/28/26 City Council Meeting**): Prior to the issuance of a grading permit, a comprehensive equestrian/hiking trail improvement plan for the Brookside Trail (Trail Improvement Plan) shall be submitted by the Applicant/Developer for review by the Director of Public Works or his/her designee and the City Engineer for compliance with the design, improvement, **signage**, construction phasing, maintenance, dedication acceptance, and other requirements for the Brookside Trail. The Trail Improvement Plan must provide **a clear delineation of the trail** and **an affirmative obligation** that the applicant will construct said improvement.
13. Prior to the issuance of the final grading permit(s), a final landscape plan for all landscaping which is to be installed within the Open Space Lot(s) and common area(s) within the tract boundaries as shown on the Final Tract Map shall be prepared by a licensed landscape architect for review and approval by the City's third – party landscape reviewer. The purpose of the review is to confirm compliance with (i) the water efficiency requirements of the WMC, and (ii) the location, size, and species of planting to ensure that the landscape site design and planting(s) are complementary to the proposed development and surrounding neighborhood(s). If applicable, the location of replacement trees within landscaped area(s) may be modified by the third-party reviewer as

deemed necessary for the long-term viability of those tree(s). The Developer shall be responsible for all costs related to the third-party review.

14. ***(Modified/added as of the 01/28/26 City Council Meeting): The original trail configuration, depicted on Exhibit A, approved by the Planning Commission on 11/19/25 shall be reinstated.*** Prior to the issuance of the grading permit, the Developer shall provide detailed structural and hydraulic calculations for all of the proposed equestrian/hiking trail culvert crossings within the proposed development verifying the integrity and capacity of the structure(s). If the culvert crossing structural and hydraulic calculations do not meet California Building Code (CBC), and WMC standards ***that cannot be mitigated without impacts on the culvert, then the trail will be reconfigured, as depicted on Exhibit B, with the proposed jog in the trail, as presented to the City Council on 01/28/267, to avoid impacts to the stream.***
15. All lettered open space lots shown on the Final Tract Map shall be conveyed to the Homeowner's Association (HOA) and annexed to the project's CC&Rs on a phased basis over the development of the project. Phasing shall be consistent with the requirements and practices of the California Department of Real Estate.
16. Prior to the Developer's filing of the Final Tract Map with the City Engineer, the Developer shall submit a preliminary subdivision guarantee if grants or offers of dedication are to be made by certificate on the Final Tract Map. A final subdivision guarantee, effective upon recordation of the Final Tract Map, will be required prior to the approval of the Final Tract Map.
17. Prior to the completion of the rough grading, the existing sewer mainline shall be relocated to align with the proposed development in substantial conformance with subjective criteria within the City's Code, in coordination with the Public Works Director, City Engineer, and Los Angeles County Sewer Maintenance Division.
18. Prior to the issuance by the City of any permit requiring clearance from the US Army Corps of Engineers (USACE), US Fish and Wildlife Service (USFWS), California Department of Fish and Wildlife (CDFW), Regional Water Quality Control Board, or any other federal, state, county, or local agency, Developer shall obtain the required clearance from the applicable agency.
19. Signs shall be posted on construction sites prohibiting unnecessary idling of construction equipment containing internal combustion engines to the extent required by State law. Furthermore, where feasible and available, contractors shall utilize "quiet" air compressors and other stationary equipment to the extent required by state and local law.
20. The construction site shall be maintained in a clean, safe condition in compliance with the California General Construction Permit. There shall be no offsite storage of vehicles, vehicle parts, equipment, or trailers unless otherwise permitted within the construction equipment staging/storing plan. All trash and debris shall be contained within a trash enclosure outside of hours of construction. Any graffiti shall be removed within twenty – four (24) hours of written notification to the Applicant/Developer by the City.

21. Prior to issuance of a grading permit, Rough Grading Plans shall be submitted for review and approval by the City Engineer for conformance to the City's Grading Ordinance. Drainage improvements must be installed along the Tract perimeter in accordance with the City's Code and approved by the City Engineer to avoid "cross-lot" drainage.
22. Prior to the issuance of a grading permit, the Applicant/Developer shall design and submit construct documents for the proposed drainage improvements, subject to review and approval by the City Engineer. The drainage improvements shall safely convey stormwater runoff generated by the proposed development site to the existing downstream drainage system (Lemon Creek) without increasing pre-project discharge rates. In addition, the project improvements shall continue to convey stormwater runoff from offsite and adjoining properties in a manner consistent with existing conditions. The capacity to convey offsite runoff shall not be reduced, and existing offsite drainage patterns and discharge rates shall be maintained. The proposed drainage system shall be supported by a detailed Hydrology Study prepared in conformance with current Los Angeles County methodology.
23. The proposed project water quality/detention basins (lettered lot[s] C and F) shall be constructed at the locations shown on TTM No. 72798 concurrent with phased rough grading and in compliance with City and Los Angeles County Flood Control District standards.
24. The Community Development Director, or his/her designee, shall review and approve all street/development lighting prior to installation for compliance with the City's lighting standards, through the submittal of a photometric plan. The plan shall illustrate no more than one (1) candle foot of illumination will be generated at all residential property lines and at the Tract boundary, unless State law or the WMC requires greater illumination. All street lighting shall include a light shield to prevent light spill-over off-site and into adjacent properties. All street lighting shall be inspected by the Community Development Department upon installation to ensure compliance with the approved street lighting for the Tract. Standard "marble-lite" poles are prohibited.
25. All utilities shall be placed underground in accordance with the WMC, including facilities and wires for the supply and distribution of electrical energy, telephone, cable television, etc.
26. Building foundation inspections shall not be performed until a rough grading certification, survey stakes in place, and a final soils compaction report have been submitted to the City and approved. All drainage facilities must be fully operable.
27. Prior to the issuance of the first building permit for a residential unit, a wall and fence plan for both the common and private areas of the property shall be submitted for the review and approval the Community Development Director, or his/her designee.
28. Prior to filing of Final Map, the Developer shall complete the following improvements or enter into one or more Subdivision Improvement Agreements with the City to assure the provision of adequate security for the completion by Developer of the following improvements:
  - a) The monumentation of Map boundaries, street centerlines, and lot boundaries.

- b) Street improvements (curb and gutter, pavement, drive approaches, sidewalk, bridge), streetlights, striping, street name signs, and signage within the development in conformance with the rural street standards.
  - c) Cold planing to a depth of 0.20' minimum of the easterly half of Lemon Avenue from La Puente Road to Meadow Pass Road and the southerly half of Meadow Pass Road from Lemon Avenue to the easterly limits of the development and the installation of an AC overlay, all to City standards.
  - d) Cold planing of San Vicente Drive to a depth (full width) of 0.10' minimum and the installation of an AC overlay, all to City standards.
  - e) Striping improvements (full width) on Meadow Pass Road from Lemon Avenue to the easterly limits of the development consistent with City improvement standards.
  - f) Streetlights within the City's right-of-way along the southerly half of Meadow Pass Road adjacent to the project, from Lemon Avenue to the easterly limit of the development, and the easterly half of Lemon Avenue from La Puente Road to Meadow Pass Road, in compliance with City standards, to the satisfaction of the Public Works Director and City Engineer or their designee.
  - g) Prior to the issuance of the first occupancy permit for a residential unit, a five (5') – foot wide concrete sidewalk shall be installed along the southerly half of Meadow Pass Road from Lemon Avenue to the easterly limit of the development in compliance with City standards.
  - h) All fees required for subdivisions under Chapter 6.04 of the WMC, to the extent that those fees are otherwise applicable under the WMC to the project and Chapter 6.04 requires payment or bonding prior to the approval of a Final Tract Map. Where applicable, these fees shall include, but are not limited to, LA County Sanitation District Sewer Annexation Fees, LA County Sewer Maintenance District fees, and School District Fees.
  - i) The construction of all streets, storm drains, water, sewer, grading, landscaping, and equestrian/hiking trails for which improvements are required by these TTM COAs.
  - j) Prior to the filing of the Final Map, public sewer and water improvements shall be either (i) installed for the proposed development to the satisfaction of the City Engineer, Los Angeles County Sewer Maintenance, and Walnut Valley Water District or (ii) be included within a Subdivision Improvement Agreement pursuant to this COA to provide adequate security to assure the timely installation of these improvements.
29. The Subdivision Improvement Agreement(s) entered pursuant to Condition No. 28 above shall identify the security provided, whether in the form of letters of credit, cash, and/or bonds (or other satisfactory form of security acceptable to the City) for each of the improvement obligations of the Developer. The City Engineer and the City Attorney shall review the Subdivision Agreement for compliance with this condition.
30. Prior to the **filing** of the Final Tract Map, the Applicant/Developer shall provide the City with a preliminary title report and guarantee identifying all fee interest holders, all interest holders whose interest could ripen into a fee, all trust deeds, together with the name of the trustee, and all easement holders. The account for this title report should remain open until the Final Tract Map is recorded.

31. All easements existing at the time of the filing of the Final Tract Map must be reflected on the Final Tract Map. This includes the location, owner, purpose, and recording reference for all existing easements. If an easement is blanket in nature or indeterminate in nature, a statement to that effect must be shown on the Final Tract Map in lieu of its location.
32. Public utility easements shall be identified and dedicated on the Final Tract Map. Prior to the filing of the Final Tract Map, all public utility easements in conflict with the proposed development which have not been abandoned or otherwise terminated shall be quitclaimed.
33. Prior to the issuance of the grading permit, the Applicant/Developer shall submit a temporary erosion control plan complying with all applicable City standards and committing to installation and operation of erosion control measures at all times.
34. Prior to the issuance of any permits, the applicant must obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity, Construction General Permit Order 2012 – 006 – DWQ (as amended by all future adopted Construction General Permits). The Construction General Permit requires the development and implementation of a Storm Water Pollution Prevention Plan (SWPPP). The applicant must submit a Notice of Intent and Waste Discharger's Identification (WDID) number as evidence of having applied with the Construction General Permit before the City will issue a grading permit. The applicant is ultimately responsible to comply with the requirements of Order No. 2012 – 0006 – DWQ, however, the City shall have the authority to enter the project site, review the project SWPPP, and require modifications and subsequent implementations to the SWPPP in order to prevent polluted runoff from leaving the project site onto public or private property.
35. The Applicant/Developer shall comply with all valid conditions of approval to any permits or authorizations issued prior to the approval of the Final Tract Map by the Los Angeles County Fire Department, Walnut Valley Water District, County of Los Angeles Sanitation Districts, and/or Southern California Edison to the extent that those conditions of approval require compliance prior to the approval of the Final Tract Map.
36. The Final Tract Map shall designate those open space lots which shall be conveyed to the Homeowners' Association (HOA) in the future after the HOA is formed, in phases as set forth in the COA(s) consistent with the requirements of the California Department of Real Estate.
37. For all projects subject to Low Impact Development (LID) regulations, the applicant must submit a site-specific drainage concept and stormwater quality plan to implement LID design principals. A fully executed "Maintenance Covenant for LID Requirements" shall be recorded with the L.A. County Registrar/Recorder and submitted to the City prior to the Certificate of Occupancy. Covenant documents shall be required to include an exhibit that details the installed treatment control devices as well as any site design or source control Best Management Practices (BMPS) for post construction. The information to be provided on this exhibit shall include, but not be limited to:
  - 8 ½" x 11" exhibits with record property owner information.

- Types of BMPs (i.e., site design, source control and/or treatment control) to ensure modifications to the site are not conducted without the property owner being aware of the ramifications to BMP implementation.
- Clear depiction of location of BMPs, especially those located below ground.
- A matrix depicting the types of BMPs, frequency of inspection, type of maintenance required, and if proprietary BMPs, the company information to perform the necessary maintenance.
- Calculations to support the sizing of the BMPs employed on the project shall be included in the report. These calculations shall correlate directly with the minimum treatment requirements of the current MS4 permit. In the case of implementing infiltration BMPs, a percolation test of the affected soil shall be performed and submitted for review by the City Engineer.

38. The Applicant/Developer shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Walnut, its officials, legislative body, advisory agencies, commissions, employees, agents, and its consultants (Indemnitees) from any claim, action, or proceeding against the Indemnitees to attack, set aside, void, or annul an approval by Indemnitees concerning approval, implementation and construction of TTM No. 72798, including the approval of TTM No. 72798 or any of the proceedings, acts or determinations taken, done, or made prior to the decision, or to determine the reasonableness, legality or validity of any condition attached thereto. The Applicant/Developer's indemnification is intended to include, but not be limited to, damages, fees and/or costs awarded against or incurred by Indemnitees and costs of suit, claim or litigation, including without limitation attorneys' fees, penalties and other costs, liabilities and expenses incurred by Indemnitees in connection with such proceeding. The City will promptly notify the Applicant/Developer of any such claim, action, or proceeding against the Indemnitees. If the project is challenged in court, the City and the Applicant/Developer shall enter into formal defense and indemnity agreement, consistent with this condition.

#### **Fire Department – Land Development Unit COA(s)**

39. Access as noted on the Tentative and the Exhibit Maps shall comply with Title 21 (County of Los Angeles Subdivision Code) and Section 503 of the Title 32 (County of Los Angeles Fire Code), which requires an all-weather access surface to be clear to sky.
40. The Private Driveways required for access throughout the development shall be indicated on the Final Tract Map as "Private Driveway and Fire lane" with the widths clearly depicted.
41. A construction bond is required for all private driveways within this development. Provide written verification of the posted construction bond to the Fire Department prior to Final Tract Map clearance.
42. All proposed access roads within this development such as public streets, private driveways used as private streets, cul-de-sacs, and fire lanes shall be designed to comply with the City of Walnut, Department of Public Works and the Fire Department standards. Final street improvement plans shall be submitted to the Fire Department for review prior to final approval by the Department of Public Works.

43. All proposed future buildings shall be placed such that a fire lane is provided to within 150 feet of all exterior walls of the first story. This measurement shall be by an approved route around the exterior of the building or facility. Verification for compliance will be performed during the Fire Department review of the architectural plan prior to building permit issuance.
44. Any on-site fire lane within each lot shall provide a minimum paved unobstructed width of 20 feet, clear to the sky. Verification for compliance will be performed during the Fire Department review of the architectural plan prior to building permit issuance.
45. Fire lanes exceeding a length of 150 feet that dead end are required to provide an approved Fire Department turnaround. All required Fire Department turnarounds shall be designed to the Fire Department standards and shall be clearly depicted on the final design plans. Verification for compliance will be performed during the Fire Department review of the architectural plan prior to building permit issuance.
46. The gradient of the private driveways shall not exceed 15 percent. Any changes in grade shall not exceed 10 percent within a 10 feet distance or 5.7 degrees. Cross slopes and required Fire Department turnarounds shall not exceed 2 percent grades. Verification for compliance will be performed during the Fire Department review of the architectural plan prior to building permit issuance.
47. Any change of direction within a private driveway shall provide a 32 feet centerline turning radius. Verification for compliance will be performed during the Fire Department review of the architectural plan prior to building permit issuance.
48. All proposed bridges and/or elevated crossing shall be constructed and maintained in accordance with AASHTO HB-17 and designed to support a live load of 75,000 pounds as specified in the County of Los Angeles Fire Code and to the satisfaction of the City of Walnut Department of Public Works.
49. All proposed vehicular gates for Emergency Vehicle Access (EVA) shall be designed, constructed, and maintained in accordance with ASTM F2200 and UL 325 as specified in the County of Los Angeles Fire Code. The vehicular gates shall provide an unobstructed width not less than 20 feet when fully open. Verification for compliance will be performed during the architectural plan review prior to building permit issuance.
50. An approved limited access device is required for any proposed vehicular gate for EVA within this development in compliance with the Fire Department's Regulation 5. Compliance required prior to occupancy during final sign off of the gate.
51. The private driveways required for fire apparatus access shall be posted with signs stating "No Parking-Fire Lane" and/or striped accordingly in compliance with the County of Los Angeles Fire Code prior to occupancy.

52. All proposed streets and driveways within this development shall provide approved street names and signs. All proposed buildings shall provide approved address numbers. Compliance required prior to occupancy to the satisfaction of the City of Walnut, Department of Public Works and the County of Los Angeles Fire Code.

*Final Map Requirements*

53. The Final Map shall be submitted to the Land Development Unit for review and approval prior to approval.
54. The proposed bridge and/or elevated crossing shall be constructed and maintained in accordance with AASHTO HB-17 and designed to support a live load of 75,000 pounds as specified in the County of Los Angeles Fire Code and to the satisfaction of the City of Walnut, Department of Public Works. Submit bridge improvement plans to the Fire Department for review prior to final approval by the City of Walnut Department of Public Works.

*Water Systems Requirements*

55. All hydrants shall measure 6"x 4"x 2-1/2" brass or bronze, conforming to current AWWA standard C503 or approved equal.
56. Proposed single family dwellings exceeding 3,601 total square feet or greater, the required fire flow from the public fire hydrant for this development can be up to 4000 gallons per minute at 20 psi for a duration of 4 hours, over and above maximum daily domestic demand. The required fire flow may be reduced by the Fire Prevention Engineering Section during the architectural plan review process prior to building permit issuance.
57. Prior to Final Map clearance, provide written verification that the required fire hydrants have been bonded for in lieu of installation.
58. Vehicular access must be provided and maintained serviceable throughout construction to all required fire hydrants. All required fire hydrants shall be installed, tested, and accepted prior to construction.
59. An approved automatic fire sprinkler system is required for the proposed buildings within this development. Submit design plans to the Fire Department Sprinkler Plan Check Unit for review and approval prior to installation.
60. Parking shall be restricted 30 feet adjacent to any required public or private fire hydrant, 15 feet on each side measured from the center of the fire hydrant. Adequate signage and/or stripping shall be required prior to occupancy.
61. Prior to the issuance of building permits, the developer shall fully improve the existing equestrian/hiking trail easterly of Lot(s) 5 and 6 from Meadow Pass Road to the Lemon Creek crossing (Istik Bridge). Said improvements shall consist of new stabilized decomposed granite

trail material, drainage improvements for erosion protection, post and rail fencing per City standards, safety lighting, and signage.

This condition is subject to the City providing (i) proof of the City's right to improve the trail and an assignment of those rights to the Applicant/Developer, (ii) legal access to any adjoining areas needed for the staging of improvements, and (iii) indemnification for any claims brought by the owner of the fee interest in the trail related to these improvements, prior to the Applicant/Developer submitting an application for the first grading permit(s) for the onsite area adjacent to the trail.

62. The approval of the Final Map does not constitute immediate approval of architectural plans for future homes. Prior to the construction of any home at the site, the applicant shall submit development plans for Site Plan and Architectural Review approval by the Planning Commission.
63. A six (6') foot high fence, composed of chain link or other approved material with view obscuring material, shall totally enclose the perimeter of the property when it is vacant, under construction, or under demolition, and said fence shall remain until occupancy is granted. If the development is to be constructed in phases, then a phasing plan shall be submitted for review and approval by the Community Development Director or his/her designee. All areas that are to remain protected (e.g. creek area) shall provide appropriately placed barriers to prohibit construction activity/access in those areas.
64. Noise – generating construction activity and stationary noise – generating equipment (such as compressors and portable generators) shall be sited away from noise – sensitive land uses to the maximum extent feasible, if applicable.
65. Utilize “quiet” air compressors and other stationary equipment where feasible and available, if applicable.
66. During construction adjacent to sensitive receptors, a temporary noise barrier shall be installed between noise – generating construction activity and the sensitive receptor(s). The barrier should be high enough to block the line of sight between the receptor(s) and the project's noise generating construction activities. The noise barrier shall be solid with no gaps or holes and have a minimum density of 2 pounds per square foot (lbs/sq. – ft.). The noise barrier will be installed to the satisfaction of the Community Development Director or his/her designee.
67. Prior to the issuance of a grading permit, a vibration impact assessment shall be prepared for proposed projects in which heavy duty construction equipment would be used (such as, but not limited to, pile driving, bull dozing) within 200' of an existing structure or sensitive receptor. If applicable, the City shall require all feasible Mitigation Measures to be implemented to ensure that no damage or disturbance to structures or sensitive receptors would occur.
68. Any details shown on TTM No. 72798 which are inconsistent with requirements or ordinances, COAs, or City of Walnut policies and not specifically approved by the Planning

Commission, are not approved and said ordinances, COAs, and City policies in effect at the time of the filing of the preliminary application consistent with SB 330 shall apply. This COA includes the requirement that all laws created by the subdivision meet applicable land use Zoning requirements.

69. The “Standard Conditions of Approval” as set forth in Resolution No. 2024 are hereby incorporated herein by reference (attached as Exhibit 1). Where a Standard Condition of Approval is inconsistent with or conflicts with any condition of these COAs, the condition contained in these COAs shall prevail. (For example, COA 4 above provides for a 24-month term for TTM 72798, whereas Resolution No. 2024 provides for an 18-month term. COA 4 prevails.) Any development on the property is subject to Site Plan Review and approval and said Site Plan Review shall include grading and drainage plans.
70. All requirements of the Building and Safety, Planning and Engineering Departments shall be complied with prior to the final approval of the proposed construction.
71. The applicant shall submit Precise Grading Plans at an appropriate scale but not smaller than 1” = 20’ for each individual residential lot. The plan shall be subject to the approval of the City Engineer. The Precise Grading Plan shall conform to the City’s Grading Ordinance.
72. Landscape Preservation Easements (Restricted Use Areas) shall be dedicated on the Final Tract Map for the existing slope between Lemon Avenue and Lot(s) 10 – 13, to the satisfaction of the Public Works Director and City Engineer.
73. Prior to the filing of the Tract Map, the existing storm drain mainline shall be relocated to align with the proposed development to the satisfaction of the City Engineer and Los Angeles County Flood Control District.
74. Existing Culvert D as identified in the Hydrology and Water Quality section of the EIR shall be fully removed by the Applicant/Developer from Lemon Creek and the streambed restored to the satisfaction of the City Engineer, Director of Public Works, State Water Resources Control Board (SWRCB), and California Fish and Wildlife Services (FWS) within the scope of their jurisdiction. Any portions of Lemon Creek impacted by the removal of Culvert D shall be restored as required by FWS and shall be replaced by a grade stabilization feature such as loose rock (rip-rap) as identified in the final design report to be approved.
75. When and if the City determines that the City will undertake maintenance efforts to install a sloped trash rack on City property to improve existing flow conditions at the upstream inlet of the La Puente Culvert, the Applicant shall provide the City with a bond securing the contribution of a maximum of \$200,000 toward the actual costs of the sloped trash rack and its installation. The Applicant’s contribution is dependent upon the City constructing the trash rack substantially as described in the Technical Memorandum from PACE Dated October 22, 2022, or in a functionally equivalent manner as determined by the City Engineer/Director of Public Works. This condition is not a condition precedent to the filing of the final map and shall expire upon approval of the final map. The term of any bond posted pursuant to this condition shall be limited to two years and Applicant shall be under no further obligation if

the installation of the trash rack has not occurred within two years of the original date of the bond.

76. ***(Modified/added as of the 01/28/26 City Council Meeting): The Applicant shall provide the City with a bond securing the contribution of up to \$100,000 toward the actual costs of installing amenities to the City owned lot off Lemon Avenue, south of the project site.***

***The term of any bond posted pursuant to this condition shall be limited to two years and Applicant shall be under no further obligation if the installation of the park amenities has not occurred within two years of the original date of the bond.***

***Attachments:***

- 1. Resolution No. 2024***
- 2. Exhibit A***
- 3. Exhibit B***

RESOLUTION NO. 2024

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WALNUT REPEALING AND REPLACING RESOLUTION NO. 1972 REGARDING STANDARD CONDITIONS OF SUBDIVISION APPROVAL.

THE CITY COUNCIL OF THE CITY OF WALNUT HEREBY RESOLVES AS FOLLOWS:

SECTION 1. Resolution No. 1972 is hereby repealed.

SECTION 2. The following "General Conditions of Approval Applicable to the Subdivision of Land" are hereby adopted and may be used by reference thereto in conditioning the approval of subdivision maps. Said conditions shall be as follows:

1.0 ADMINISTRATION AND PLANNING

- 1.1 Any details shown on the tentative map which are inconsistent with the requirements or ordinances, general conditions of approval, or City of Walnut policies and not specifically approved by the Planning Commission, are not approved, and said ordinances, conditions of approval and City policies shall apply. This condition includes the requirement that all lots created by the subdivision meet applicable land use zoning requirements.

2.0 GRADING AND LANDSCAPING

- 2.1 As part of the grading and/or landscaping improvements, a permanent facility shall be provided to collect and transport surface waters from slope areas to public streets or other acceptable disposal locations where required by the City Engineer.

3.0 STREETS AND UTILITIES

- 3.1 Dedicate and fully improve all streets within the subdivision and bordering the subdivision including, but not limited to aggregate base, asphalt concrete, curbs and gutters, etc.
- 3.2 Pavement structural sections shall be designed in accordance with the "Flexible Pavement Structural Section Design Guide for California Cities and Counties", Third Edition (R-value method).
- The design shall be prepared by a soils engineer, and it shall be reviewed and approved by the City Engineer. Traffic indicies shall be established by the City Engineer.
- 3.3 Street cross-sections shall meet City standards for classification assigned each street.
- 3.4 Sidewalks shall be adjacent to the curb, and they shall be 4.5 feet wide, except along Valley Boulevard, where they shall be 7.5 feet wide.
- 3.5 Above-ground utilities, including but not limited to street lights, fire hydrants, underground utility junction boxes, etc., shall be placed outside the sidewalk area, except that where the back of sidewalk line is more than six feet

from the face of curb line, fire hydrants and street light standards may be placed in the sidewalk area near the curb line.

- 3.6 Street names shown on the tentative map for identification purposes are not necessarily approved for use, and the developer shall submit alternate names for City review and approval.
- 3.7 Provide street identification signs and traffic safety devices, including signs, lane striping, etc. as required by the City Engineer.
- 3.8 Provide street lighting on ornamental electroliers along interior and boundary streets.
- 3.9 Comply with the City Engineer's requirements regarding street and drainage improvements and easements needed for street drainage or slopes.
- 3.10 Place all new electric power and communication distribution lines, services and related facilities underground.

#### 4.0 SEWERS

- 4.1 Provide and dedicate local sewers and install house lateral sewers to serve each lot of the subdivision.

#### 5.0 STORM DRAINAGE

- 5.1 Provide the necessary easements and facilities to eliminate the note of flood hazard from the parcel map or final map on all lots in this subdivision to the satisfaction of the City Engineer, and to the satisfaction of the Flood Control District if applicable.

#### 6.0 WATER/FIRE

- 6.1 Satisfy water distribution and fire protection requirements as established by the Walnut Valley Water District or other authorized water purveyor, and the Los Angeles County Fire Department.

SECTION 3. The following "Selected Procedures, Ordinance References, And Rules, And Regulations Regarding Subdivisions Of Land" are hereby adopted and may be used in the processing of subdivision maps in the City of Walnut. Said selected procedures, ordinance references and rules and regulations regarding subdivisions of land shall read as follows:

#### 1.0 ADMINISTRATION AND PLANNING

- 1.1 Tentative map approvals expire eighteen calendar months after the date of Planning Commission approval. The applicant may seek approval of time extensions to the extent permitted by law from the Planning Commission provided they are requested so as to permit Commission consideration prior to the expiration date.
- 1.2. Subdivisions must satisfy the requirements of the Park and Recreational Facilities requirement (Article III, Chapter 23 of the City Code).
- 1.3 Any development on the property is subject to a site plan review and approval for grading and drainage plans.
- 1.4 Approval for filing a final map or parcel map of this tract is contingent upon approval of plans and specifications for all public improvements required on the project. If the improvements are not installed prior to the filing of the final map or parcel map, the subdivider must submit an

agreement with appropriate guarantees in the amounts estimated by the City Engineer, guaranteeing the installation of improvements and fulfillment of the subdivision requirements.

2.0 GRADING AND LANDSCAPING

- 2.1 Project grading and erosion control planting shall conform to the Grading Ordinance and adopted City Standards.
- 2.2 Grading shall be accomplished in accordance with an approved grading plan substantially conforming to the approved tentative map.
- 2.3 Landscaping design should include provisions for mitigation of grading results.

3.0 STREETS

(reserved)

4.0 SEWERS

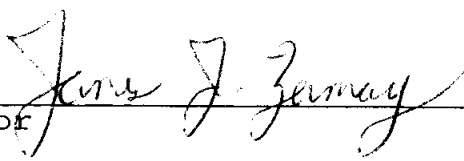
- 4.1 That all sewer reimbursement fees applicable to the properties be paid.

5.0 STORM DRAINAGE

(reserved)

SECTION 4. This Resolution shall be effective upon its adoption, and the City Clerk shall certify to the adoption of this Resolution.

ADOPTED AND APPROVED this 27th day of August, 1980.

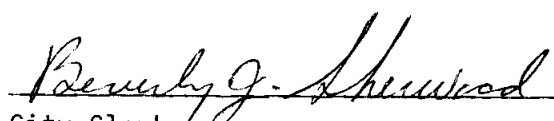
  
 \_\_\_\_\_  
 Mayor

ATTEST:

  
 \_\_\_\_\_  
 City Clerk

I hereby certify and attest that Resolution No. 2024 was approved and adopted by the City Council of the City of Walnut at a regular meeting held August 27, 1980, by the following roll call vote:

- AYES: Councilmen Holden, Zamary, Ashley and Hahn
- NOES: None
- ABSENT: Councilman Daley

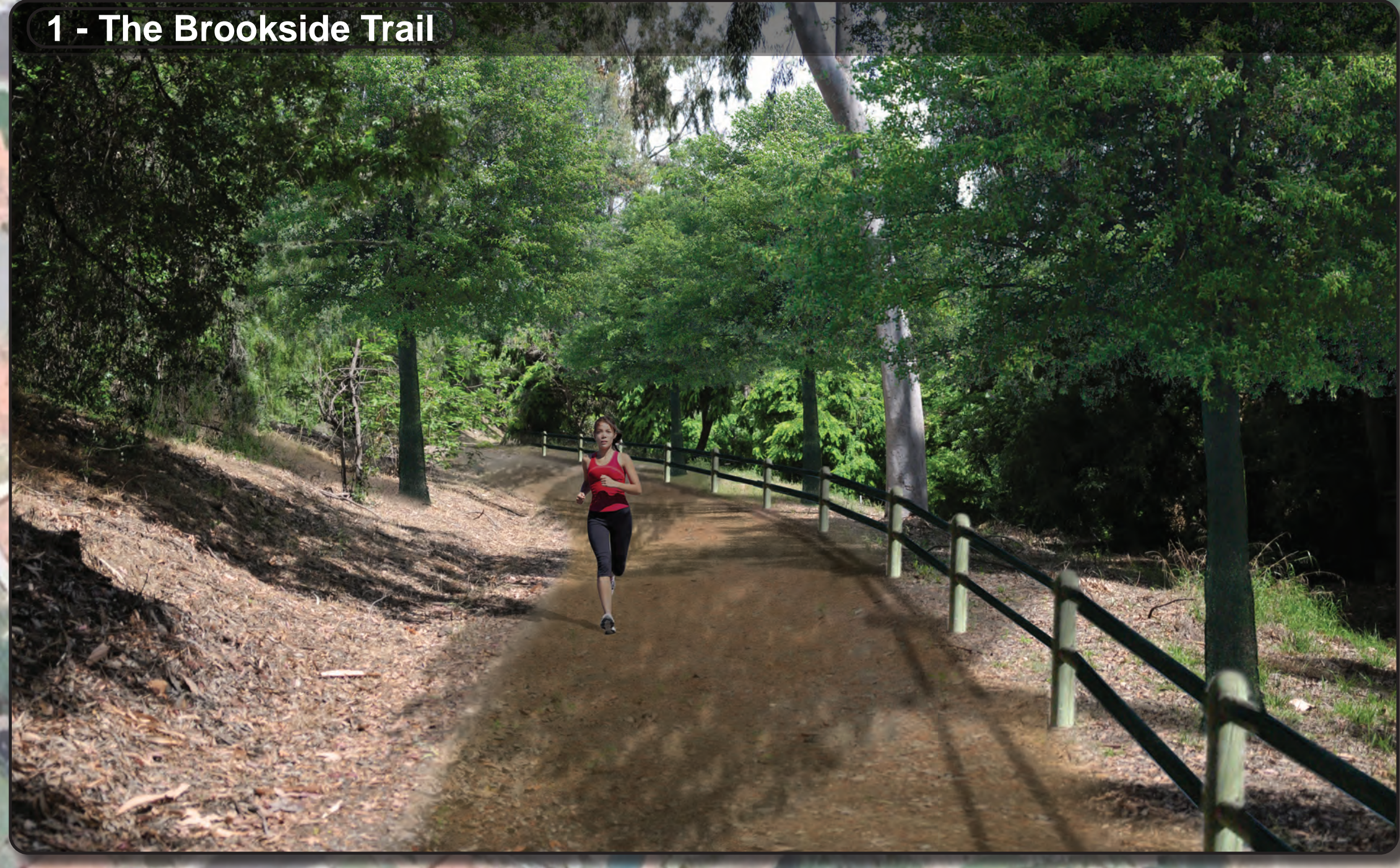
  
 \_\_\_\_\_  
 City Clerk



**Trails Legend**

Symbol	Description	Trail Length
●●●●●	The Brookside Trail Improved 10' per City Standards	1,500 LF

1 - The Brookside Trail



2 - The Brookside Trail



**NOTES:**

- TOP RAIL SHALL BE DRILLED 6" DOWN FROM TOP OF POST.
- BOTTOM RAIL SHALL BE DRILLED 18" DOWN FROM TOP RAIL ON CENTER.
- POSTS AND RAILS SHALL BE FULLY TREATED WITH ALKALINE COPPER QUATERNARY.

**DETAIL A**  
NOT TO SCALE

**TRAIL IN SIDE-HILL LOCATION**  
NOT TO SCALE

**NOTES:**

- CONCRETE SHALL BE CLASS 600-E-2500 OR AS DIRECTED BY THE ENGINEER.
- PAVED GUTTER MAY BE USED IN LIEU OF SLUFF WALL IF LOCATED OUTSIDE OF 10' TRAIL. (SEE DETAIL "A")
- TRAIL MATERIAL (4" THICK) SHALL BE COMPACTED IN PLACE TO 95% WITH THE UPPER ONE FOOT OF SUBGRADE COMPACTED TO 95% AND SHALL CONSIST OF POLYMER COATED CRUSHED STONE PATHWAY MIX (SEE SHEET 3 FOR SPECIFICATIONS).

**TRAIL ADJACENT TO SIDEWALK**  
NOT TO SCALE

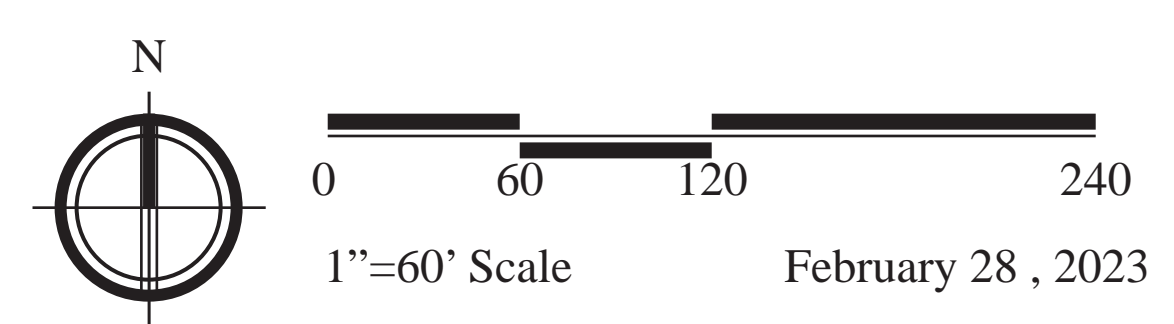
**NOTES:**

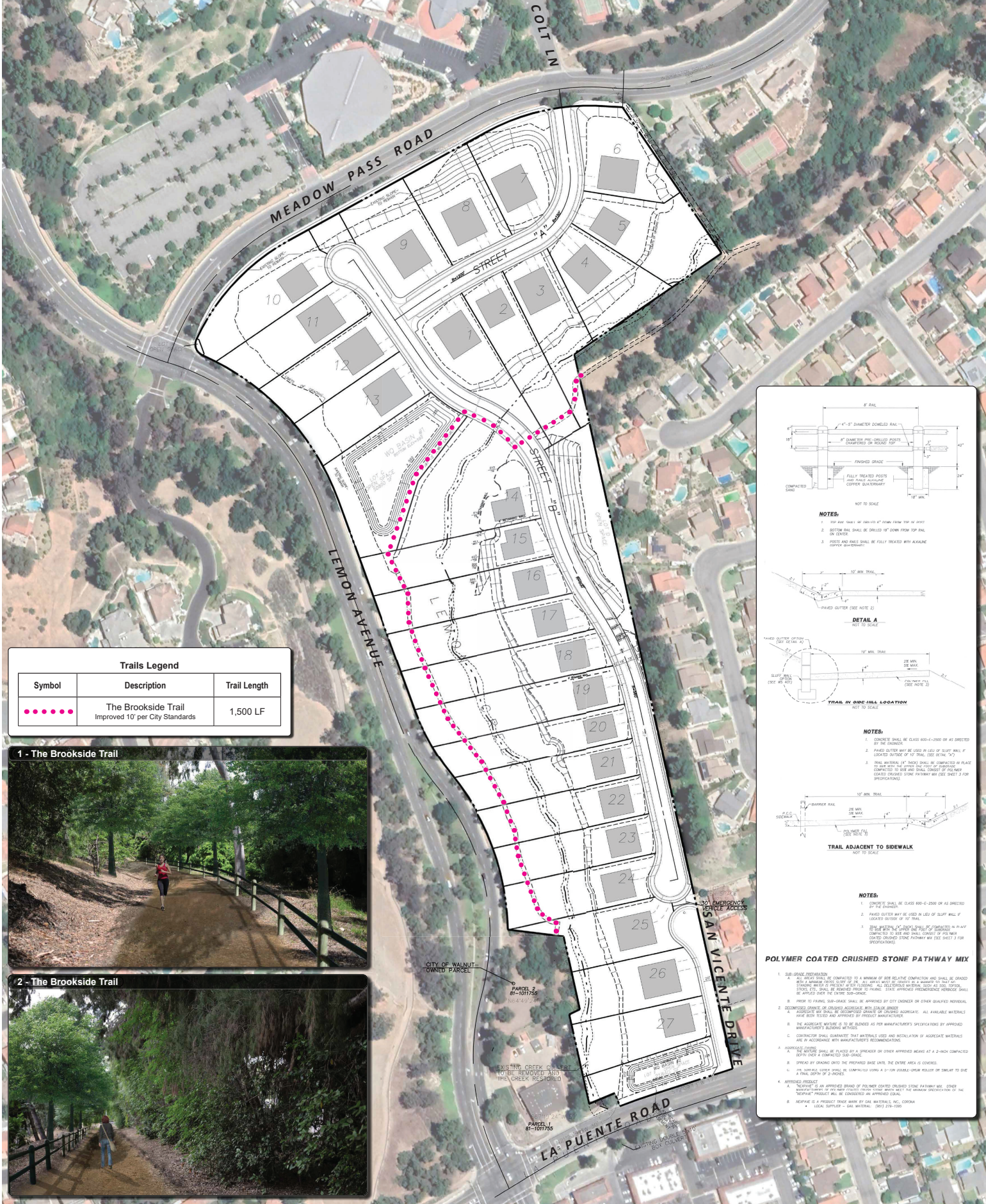
- CONCRETE SHALL BE CLASS 600-E-2500 OR AS DIRECTED BY THE ENGINEER.
- PAVED GUTTER MAY BE USED IN LIEU OF SLUFF WALL IF LOCATED OUTSIDE OF 10' TRAIL.
- TRAIL MATERIAL (4" THICK) SHALL BE COMPACTED IN PLACE TO 95% WITH THE UPPER ONE FOOT OF SUBGRADE COMPACTED TO 95% AND SHALL CONSIST OF POLYMER COATED CRUSHED STONE PATHWAY MIX (SEE SHEET 3 FOR SPECIFICATIONS).

**POLYMER COATED CRUSHED STONE PATHWAY MIX**

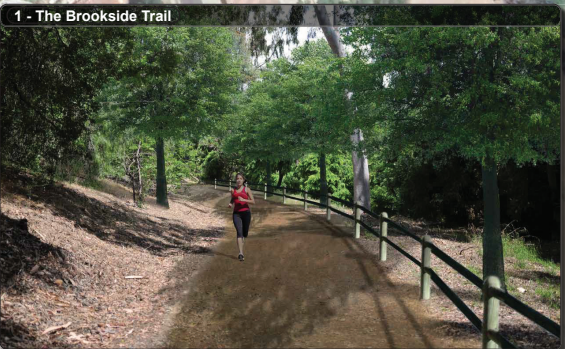
- SUB-GRADE PREPARATION
  - ALL AREAS SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION AND SHALL BE GRADED WITH A MINIMUM CROSS SLOPE OF 2%. ALL AREAS MUST BE GRADED IN A MANNER SO THAT NO STANDING WATER IS PRESENT AFTER FLOODING. ALL DESTRUCTIVE MATERIALS (SUCH AS SOIL, TOPSOIL, STICKS, ETC.) SHALL BE REMOVED PRIOR TO PAVING. STATE APPROVED PREEMERGENCE HERBICIDE SHALL BE APPLIED OVER THE ENTIRE SUB-GRADE.
  - PRIOR TO PAVING, SUB-GRADE SHALL BE APPROVED BY CITY ENGINEER OR OTHER QUALIFIED INDIVIDUAL.
- DECOMPOSED GRANITE OR CRUSHED AGGREGATE WITH STAPLE BINDER
  - AGGREGATE MIX SHALL BE DECOMPOSED GRANITE OR CRUSHED AGGREGATE. ALL AVAILABLE MATERIALS HAVE BEEN TESTED AND APPROVED BY PRODUCT MANUFACTURER.
  - THE AGGREGATE MIXTURE IS TO BE BLENDED AS PER MANUFACTURER'S SPECIFICATIONS BY APPROVED MANUFACTURER'S BLENDING METHODS.
  - CONTRACTOR SHALL GUARANTEE THAT MATERIALS USED AND INSTALLATION OF AGGREGATE MATERIALS ARE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- AGGREGATE PAVING
  - THE MIXTURE SHALL BE PLACED BY A SPREADER OR OTHER APPROVED MEANS AT A 2-INCH COMPACTED DEPTH OVER A COMPACTED SUB-GRADE.
  - SPREAD BY GRADING ONTO THE PREPARED BASE UNTIL THE ENTIRE AREA IS COVERED.
  - THE SURFACE COVER SHALL BE COMPACTED USING A 5-TON DOUBLE-DRUM ROLLER OR SIMILAR TO GIVE A FINAL DEPTH OF 2-INCHES.
- APPROVED PRODUCT
  - "NEPAVE" IS AN APPROVED BRAND OF POLYMER COATED CRUSHED STONE PATHWAY MIX. OTHER MANUFACTURERS OF POLYMER COATED CRUSHED STONE WHICH MEET THE MINIMUM SPECIFICATION OF THE "NEPAVE" PRODUCT WILL BE CONSIDERED AN APPROVED EQUAL.
  - NEPAVE IS A PRODUCT TRADE MARK BY GAL MATERIALS, INC., CORONA LOCAL SUPPLIER - GAL MATERIALS (951) 279-1035

**Trails Plan**  
BROOKSIDE | WALNUT, CA





Trails Legend		
Symbol	Description	Trail Length
●●●●●	The Brookside Trail Improved 10' per City Standards	1,500 LF



**NOTES:**

- THE RAIL SHALL BE MINIMUM 8" HIGH FROM TOP TO HOLES
- OUTTER RAIL SHALL BE DRILLED 1/2" DOWN FROM TOP RAIL ON INSIDE
- POSTS AND WALL SHALL BE FULLY TREATED WITH ANTI-DECAY COPPER QUATERNARY

NOT TO SCALE

**DETAIL A**  
NOT TO SCALE

**TRAIL IN SIDE-HILL LOCATION**  
NOT TO SCALE

**NOTES:**

- CONCRETE SHALL BE CLASS 8000-6-2000 OR AS DIRECTED BY THE ENGINEER
- PAVED OUTTER MAY BE USED IN LIEU OF SLOTTED WALL IF LOCATED WITHIN 10' OF TRAIL (SEE NOTE 1)
- TRAIL MATERIAL (AT TRAIL) SHALL BE COMPACTED IN PLACE COMPACTED TO 95% AND SHALL CONSIST OF POLYMER COATED CRUSHED STONE PATHWAY AND ONE (1) 2" DIA. SPECIFICATIONS

**TRAIL ADJACENT TO SIDEWALK**  
NOT TO SCALE

**NOTES:**

- CONCRETE SHALL BE CLASS 8000-6-2000 OR AS DIRECTED BY THE ENGINEER
- PAVED OUTTER MAY BE USED IN LIEU OF SLOTTED WALL IF LOCATED WITHIN 10' OF TRAIL
- TRAIL MATERIAL (AT TRAIL) SHALL BE COMPACTED IN PLACE COMPACTED TO 95% AND SHALL CONSIST OF POLYMER COATED CRUSHED STONE PATHWAY AND ONE (1) 2" DIA. SPECIFICATIONS

**POLYMER COATED CRUSHED STONE PATHWAY MIX**

- SUB-BASE PREPARATION
  - ALL EXISTING SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION AND SHALL BE GRADED WITH A MINIMUM SLOPE OF 2% TO THE SIDE
  - ALL EXISTING SHALL BE REMOVED AND THE AREA REGRADED TO THE ORIGINAL FINISH GRADE
  - ALL EXISTING SHALL BE REMOVED AND THE AREA REGRADED TO THE ORIGINAL FINISH GRADE
- PREPARED CRUSHED STONE SHALL BE APPROVED BY CITY ENGINEER OR OTHER QUALIFIED PERSONNEL
- THE AGGREGATE PORTION IS TO BE BLEND AS PER MANUFACTURER'S SPECIFICATIONS BY APPROVED MANUFACTURER'S BLENDING METHOD
- CONTRACTOR SHALL GUARANTEE THAT MATERIALS USED AND INSTALLATION OF AGGREGATE MATERIALS ARE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
- APPROVED PRODUCT
  - THE MIXTURE SHALL BE PLACED BY A SPREADER OR OTHER APPROVED MEANS AT A 2-INCH COMPACTED DEPTH OVER A COMPACTED SUB-GRADE
  - SPREADER OR SPREADING SHALL BE OPERATED WITH SLOPE, THE ENTIRE AREA IS COVERED
  - THE MATERIALS SHALL BE COMPACTED USING A 3'-10" ROLLER OR EQUIVALENT TO OBTAIN A FINISH DEPTH OF 2-INCHES
- APPROVED PRODUCT
  - "NEWFORM" IS AN APPROVED BRAND OF POLYMER COATED CRUSHED STONE PATHWAY MIX. OTHER MANUFACTURERS OF POLYMER COATED CRUSHED STONE SHALL MEET THE MINIMUM SPECIFICATIONS OF THE MIXTURE. PLEASE BE CONSULTED FOR APPROVED PRODUCTS
  - NEEDLEPINE IS A PRODUCT TRADE MARK BY G&S MATERIALS, INC., CORONA
  - LOCAL SUPPLIER - G&S MATERIALS (951) 279-1090